



Petition Number: 2016-05-PP

Subject Site Address: 8810 and 8811 Whitestown Road

Petitioner: Robert and Sarah DeRossi

Representative: Matthew Price

Request: Petition for Primary Plat approval in order to subdivide 77.015 acres into twelve (12) lot subdivision, in the (R2), Rural Low Density Single and Two Family Residential Zoning District, and the (R-SF-2), Urban Single Family Zoning District

Current Zoning: Rural (R2), Low Density Single and Two-Family Residential, and Urban (R-SF-2), Single Family Residential Zoning District

Current Land Use: Residential / Undeveloped

Approximate Acreage: 77.015 acres

Related Petitions: Board of Zoning Appeals Docket # 2015-02-DSV, approved by the Board of Zoning Appeals on March 8, 2016

Exhibits: Exhibit 1 - Staff Report
Exhibit 2 - Aerial Location Map
Exhibit 3 - Site Plan
Exhibit 4 - Town Engineer review letter (dated March 7, 2016)
Exhibit 5 - Findings of Fact (Subdivision Plat)

Staff Reviewer: Wayne DeLong, AICP

PROJECT OVERVIEW

Petition History

On March 8, 2016 the Board of Zoning Appeals approved the Petition for Development Standards variance to provide for 12 estate lots without public water and sewer facilities and with a lot depth to width ratio exceeding 3 to 1. Both the Primary Plat Petition 2016-05-PP and Development Plan Petition 2016-06-DP dockets were continued from the March 21, 2016, and April 18, 2016 Plan Commission meeting, to the May 16, 2016 meeting.

Property History / Location

The overall subject site is comprised of two (2) parcels located in the Rural (R2) Low Density Single and Two-Family Residential and the R-SF-2 (Urban) Residential Zoning District.

PRIMARY PLAT REVIEW

Subdivision Control Ordinance

The primary plat has been reviewed using the standards of the Zionsville Subdivision Control Ordinance (SCO) and found to be in compliance as outlined in the March 7, 2016 Town Engineer review letter (content specific to MINOR PLAT).

Zoning Ordinance

The primary plat has been reviewed using the standards of the Zionsville Zoning Ordinance.

Street Access

The proposed development is intended to gain access from existing roadways (no new roads are proposed as a part of the contemplated division).

Stormwater Management

As a part of this proposed development, the Town Council considered, and granted, a waiver from the Town's Drainage ordinance related to the contemplated development. Development of the waiver involved the Town staff, the Boone County Surveyor, and the Town Engineer (execution of the requirements of the waiver have been included in the proposed subdivisions Declarations and Restrictions). As of the writing of this report, Town staff awaits the final design of the drainage system (specifically the sediment basin) for its review and sign off. Staff will provide an update at the meeting as to the status of this design.

Utility Capacity / Utility Easements

As the development is to be served by well and septic, it will be up to individual lot owners to size and furnish adequate wells and septic fields (Note: Health Department has reviewed soil borings for the site and have indicated that due to soil quality in certain areas and overall high seasonal water table, above ground systems will be required for some lots, and all lots will require that drainage be available for all systems). Further, adequate easements are being platted as a part of the subdivision process to provide for utility access within the subdivision.

Findings of Fact

The Plan Commission may approve a Primary Plat upon finding that:

- (a) Adequate provisions have been made for regulation of minimum lot depth and minimum lot area;
- (b) Adequate provisions have been made for the widths, grades, curves and coordination of subdivision public ways with current and planned public ways; and
- (c) Adequate provisions have been made for the extension of water, sewer, and other municipal services.

Findings as submitted by the Petitioner are attached as a part of this report.

Findings as submitted by the Petitioner as attached as a part of this report.

PUBLIC POLICY

Comprehensive Plan

The Proposed Land Use Map in the Zionsville Comprehensive Plan identifies the property as residential. The proposed subdivision is an appropriate land use consistent with the policies in the Comprehensive Plan.

Transportation Plan

The Thoroughfare Plan in the Zionsville Transportation Plan recognizes County Road 875 East, County 550 South, and Whitestown Road as candidates for potential widening. Further, a recent amendment to the Transportation Plan identifies the area to have the potential to be improved with the "North South Connector".

Water and Sewer

The property currently does not have sanitary sewer services or potable water near the property. Access to water, in particular, to provide for fire protection as required by the Subdivision Control Ordinance, if it cannot be achieved, may require the Petitioner to seek a waiver from the Safety Board related to water pressure.

Emergency Warning Siren

Based on current or planned installations of Warning Sirens, the proposed development is located in a coverage gap area. The Town will look to work with the Petitioner in an effort to remedy this concern.

Findings of Fact

The Plan Commission may approve a Primary Plat upon finding that:

- (d) Adequate provisions have been made for regulation of minimum lot depth and minimum lot area;
- (e) Adequate provisions have been made for the widths, grades, curves and coordination of subdivision public ways with current and planned public ways; and

- (f) Adequate provisions have been made for the extension of water, sewer, and other municipal services.

Findings as submitted by the Petitioner are attached as a part of this report.

STAFF COMMENTS

With the comments captured within the Town Engineer letter (dated May 7, 2016) related to the MINOR PLAT, Staff has full confidence that each future item can be resolved to the satisfaction of Staff prior to the recordation of the Subdivision Plat. With that in mind, staff recommends approval of the proposed preliminary plat.

RECOMMENDED MOTIONS

Primary Plat Motion

I move that Docket #2016-05-PP primary plat approval, at 8810 and 8811 Whitestown Road to subdivide 77.015 acres into a twelve (12) lot subdivision, in the (R2), Rural Low Density Single and Two Family Residential Zoning District, and the (R-SF-2), Urban Single Family Zoning District be (Approved with the conditions noted in the staff report and the proposed findings of fact / Approved based on the findings of fact / Denied / Continued) as presented.



Exhibit 3

NOT TO SCALE

ZIONSVILLE PROPERTY



To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: March 7, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	DeRossi Estates	
	Location	8810 Whitestown Rd. and 8811 Whitestown Rd.	
	Developer	Owner	
	Submittal	Submittal #2 – Primary Plat	
Documents Reviewed		Document Name	Document Date
		Primary Plat Site Plan	January 29, 2016
		Development Plan	January 29, 2016
		Drainage Report	March 3, 2016
Zoning	Current	R-SF-2, R-2	
	Proposed	R-SF-2, R-2	
Land Use	Current	Residential	
	Proposed	Residential	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town’s standards or requirements:

I. MINOR PLAT

- A. Building setback lines should be added for side and rear yards. For R-SF-2, rear yard setback is 25’. For R-2, rear yard setback is 20’ and side yard setback is 5’.
- B. Provide parcel number for each lot.
- C. Provide address plan.
- D. Add text of existing and proposed covenants.
- E. Provide plans for any common use areas.

F. Lots 10, 11, and 12 do not meet the lot depth: width ratio (3:1) for R-2. Please obtain a variance.

G. Provide Minimum Flood Protection Grade (FPG) for each lot.

II. DEVELOPMENT PLAN

A. Include rear and side yard setback lines.

B. Provide sidewalk plan.

C. Provide landscaping plan.

D. Provide lighting plan.

E. Provide preliminary erosion control plan.

III. DRAINAGE REPORT

A. The information in the drainage analysis letter is valuable, and indicated that the run-off rates will be reduced by the proposed development (the increased run-off from impervious cover – homes, driveways, and other improvements – was more than offset by reduced run-off because of the change from cultivated land to lawn grasses). However, the Town's ordinances and standards require that a drainage report, meeting those standards, be provided.

B. Provide Professional Engineers signature and seal indicating the report was prepared by a PE or under a PE's direction.

C. Provide Certificate of Insurance for the engineer preparing the drainage report with the required limits.

D. Provide a drainage report, described in the drainage report with design incorporated into the subdivision plans, that meets the Town's applicable ordinances and standards, including, for each drainage basin:

1. Post-development run-off that does not exceed 0.1 cfs/acre for the 10-year storm and 0.3 cfs/acre for the 100-year storm.
 - a. Run-off rates are typically controlled by installation of wet bottom or dry bottom detention ponds.
 - b. Some LID development techniques may provide an alternative method of run-off control that is also appropriate for the site.
2. Bypass off-site drainage entering each of the drainage basins around detention or flow attenuation systems (or provide special features to pass the water through the basin without impacting the basin's performance for on-site run-off).

3. Culverts and roadside ditches sized so the water does not overtop the road for the 100-year post-development storm and off-site existing condition drainage.
4. Drainage easements for storm pipes with minimum 15' easement on either side of the pipe.
5. Emergency flood routing.
6. Determination of downstream drainage system capacity (including within Sycamore Bend) to confirm adequate capacity for the discharges from the site.
7. Provide Water Quality Volume (WQv) calculations and size the storm water facilities accordingly.
8. Provide appropriate Channel Protection Volume (CPv) calculations and size the storm water facilities accordingly.
9. Two BMPs (Stormwater Best Management Practices) in series are required for treatment of the storm water leaving the site at each of the various discharge points. If these BMPs are hydraulic Water Quality Devices, provide an agency (such as an HOA) to own and maintain the devices.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

FINDINGS OF FACT

The Town of Zionsville Plan Commission (the "Commission"), after a Public Hearing held on Tuesday, February 16, 2016 has determined that the Primary Plat is/is not in full compliance with all terms and provisions of the Town of Zionsville Subdivision Control Ordinance and the Town of Zionsville Zoning Ordinance.

The Town of Zionsville Plan Commission finds that:

- a. Adequate provisions have been made for regulation of minimum lot depth and minimum lot area;
- b. Adequate provisions have been made for the widths, grades, curves and coordination of subdivision public ways with current and planned public ways; and,
- c. Adequate provisions have been made for the extension of water, sewer, and other municipal services.

TOWN OF ZIONSVILLE PLAN COMMISSION

The Primary Plat was APPROVED/DENIED on the _____ day of _____, 20____, subject to any conditions agreed to at the public hearing and listed in the Letter of Grant.

President, Town of Zionsville Plan Commission



Petition Number: 2016-06-DP

Subject Site Address: 8810 and 8811 Whitestown Road

Petitioner: Robert and Sarah DeRossi

Representative: Matthew Price

Request: Petition for Development Plan Approval to provide for development of a twelve (12) lot subdivision, in (R2), Rural Low Density Single and Two Family Residential Zoning District, and the (R-SF-2), Urban Single Family Zoning District

Current Zoning: Rural (R2), Low Density Single and Two-Family Residential, and Urban (R-SF-2), Single Family Residential Zoning District

Current Land Use: Residential / Undeveloped

Approximate Acreage: 77.015 acres

Related Petitions: Board of Zoning Appeals Docket # 2016-02-DSV, approved by the Board of Zoning Appeals on March 8, 2016

Exhibits: Exhibit 1 - Staff Report
Exhibit 2 - Aerial Location Map
Exhibit 3 – Project Area Map
Exhibit 4 – Town Engineer review letter (dated March 7, 2016)
Exhibit 5 - Development Plan Findings of Fact

Staff Reviewer: Wayne DeLong, AICP

PROJECT OVERVIEW

Petition History

On March 8, 2016 the Board of Zoning Appeals approved the Petition for Development Standards variance to provide for 12 estate lots without public water and sewer facilities and with a lot depth to width ratio exceeding 3 to 1. Both the Primary Plat Petition 2016-05-PP and Development Plan Petition 2016-06-DP dockets were continued from the March 21, 2016, and April 18, 2016 Plan Commission meeting, to the May 16, 2016 meeting.

Property History / Location

The overall subject site is comprised of two (2) parcels located in the Rural (R2) Low Density Single and Two-Family Residential and the R-SF-2 (Urban) Residential Zoning District.

DEVELOPMENT PLAN REVIEW

Zoning Ordinance

The development plan has been reviewed using the standards of the Zionsville Zoning Ordinance.

Street Access

The proposed development is intended to gain access from existing roadways (no new roads are proposed as a part of the contemplated division).

Stormwater Management

As a part of this proposed development, the Town Council considered, and granted, a waiver from the Town's Drainage ordinance related to the contemplated development. Development of the waiver involved the Town staff, the Boone County Surveyor, and the Town Engineer (execution of the requirements of the waiver have been included in the proposed subdivisions Declarations and Restrictions). As of the writing of this report, Town staff awaits the final design of the drainage system (specifically the sediment basin) for its review and sign off. Staff will provide an update at the meeting as to the status of this design.

Utility Capacity / Utility Easements

As the development is to be served by well and septic, it will be up to individual lot owners to size and furnish adequate wells and septic fields (Note: Health Department has reviewed soil borings for the site and have indicated that due to soil quality in certain areas and overall high seasonal water table, above ground systems will be require for some lots, and all lots will require that drainage be available for all systems). Further, adequate easements are being platted as a part of the subdivision process to provide for utility access within the subdivision.

FINDINGS

The Plan Commission shall hear, and approve or deny, Development Plans based on Findings of the Building Commissioner or Plan Commission. Per Section 4.3.C of the Ordinance the Plan Commission finds:

1. The Development Plan/Modification of Development Plan is compatible with surrounding land uses because:
2. The Development Plan/Modification of Development Plan **does** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:
3. The Development Plan/Modification of Development Plan **does** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:
4. The Development Plan/ Modification of Development Plan **does** utilize building materials and building style compatible with the Zionsville theme because:
5. The Development Plan/Modification of Development Plan **does** provide for the calculation of storm water runoff because:
6. The Development Plan/Modification of Development Plan **does** provide for current and future right-of-way dedications because:
7. The Development Plan/Modification of Development Plan **does** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

Findings as submitted by the Petitioner are attached as a part of this report.

STAFF COMMENTS

With the comments captured within the Town Engineer letter (dated May 7, 2016) related to the DEVELOPMENT PLAN, Staff has full confidence that each future item can be resolved to the satisfaction of Staff prior to the recordation of the Subdivision Plat. With that in mind, staff recommends approval of the proposed Development Plan.

RECOMMENDED MOTIONS

I move that Docket #20106-DP Development Plan approval for site improvements associated with twelve (12) lot subdivision, in (R2), Rural Low Density Single and Two Family Residential Zoning District, and the (R-SF-2), Urban Single Family Zoning District be (Approved with the conditions noted in the staff report and based upon the findings / Denied/ Continued) as presented.



Exhibit 3


 NOT TO SCALE

ZIONSVILLE PROPERTY



To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: March 7, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	DeRossi Estates	
	Location	8810 Whitestown Rd. and 8811 Whitestown Rd.	
	Developer	Owner	
	Submittal	Submittal #2 – Primary Plat	
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Zoning	Current	R-SF-2, R-2	
	Proposed	R-SF-2, R-2	
Land Use	Current	Residential	
	Proposed	Residential	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town’s standards or requirements:

I. MINOR PLAT

- A. Building setback lines should be added for side and rear yards. For R-SF-2, rear yard setback is 25’. For R-2, rear yard setback is 20’ and side yard setback is 5’.
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- F. Lots 10, 11, and 12 do not meet the lot depth: width ratio (3:1) for R-2. Please obtain a variance.
- G. Provide Minimum Flood Protection Grade (FPG) for each lot.

II. DEVELOPMENT PLAN

- A. Include rear and side yard setback lines.
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- D. Provide lighting plan.
- E. Provide preliminary erosion control plan.

III. DRAINAGE REPORT

- A. The information in the drainage analysis letter is valuable, and indicated that the run-off rates will be reduced by the proposed development (the increased run-off from impervious cover – homes, driveways, and other improvements – was more than offset by reduced run-off because of the change from cultivated land to lawn grasses). However, the Town's ordinances and standards require that a drainage report, meeting those standards, be provided.
- B. Provide Professional Engineers signature and seal indicating the report was prepared by a PE or under a PE's direction.
- C. Provide Certificate of Insurance for the engineer preparing the drainage report with the required limits.
- D. Provide a drainage report, described in the drainage report with design incorporated into the subdivision plans, that meets the Town's applicable ordinances and standards, including, for each drainage basin:
 - 1. Post-development run-off that does not exceed 0.1 cfs/acre for the 10-year storm and 0.3 cfs/acre for the 100-year storm.
 - a. Run-off rates are typically controlled by installation of wet bottom or dry bottom detention ponds.
 - b. Some LID development techniques may provide an alternative method of run-off control that is also appropriate for the site.
 - 2. Bypass off-site drainage entering each of the drainage basins around detention or flow attenuation systems (or provide special features to pass the water through the basin without impacting the basin's performance for on-site run-off).

3. Culverts and roadside ditches sized so the water does not overtop the road for the 100-year post-development storm and off-site existing condition drainage.
4. Drainage easements for storm pipes with minimum 15' easement on either side of the pipe.
5. Emergency flood routing.
6. Determination of downstream drainage system capacity (including within Sycamore Bend) to confirm adequate capacity for the discharges from the site.
7. Provide Water Quality Volume (WQv) calculations and size the storm water facilities accordingly.
8. Provide appropriate Channel Protection Volume (CPv) calculations and size the storm water facilities accordingly.
9. Two BMPs (Stormwater Best Management Practices) in series are required for treatment of the storm water leaving the site at each of the various discharge points. If these BMPs are hydraulic Water Quality Devices, provide an agency (such as an HOA) to own and maintain the devices.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

1. The Development Plan/Modification of Development Plan **(is/is not)** compatible with surrounding land uses because:

The area is dominated by single-family dwellings and undeveloped property. The very low density of the 12-lot subdivision will result in a development with less impact upon adjoining properties than nearly any alternative development scenario.

2. The Development Plan/Modification of Development Plan **(does/does not)** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:

The 12-lot single-family residential development will constitute such a very low density that the application of private sanitary and water facilities will not impact adjoining properties. Storm water drainage and other utilities will be provided as required.

3. The Development Plan/Modification of Development Plan **(does/does not)** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:

The very low density single-family residential development will result in extremely low impact upon the adjoining roads and the road network in the vicinity.

4. The Development Plan/ Modification of Development Plan **(does/does not)** utilize building materials and building style compatible with the Zionsville theme because:

The 12-lot single-family residential development will promote the construction of estate-type homes with significant economic value.

5. The Development Plan/Modification of Development Plan **(does/ does not)** provide for the calculation of storm water runoff because:

The very low density single-family residential development will easily accommodate storm water runoff in accordance with the requirements of the town and/or the county.

6. The Development Plan/Modification of Development Plan **(does/does not)** provide for current and future right-of-way dedications because:

The Primary Plat associated with the 12-lot single-family residential development presumes full dedication along the frontage of the adjoining streets in accordance with the Thoroughfare Plan.

7. The Development Plan/Modification of Development Plan **(does/does not)** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

The very low density single-family residential development will easily accommodate, and typically exceed, the minimum standards associated with the existing zoning districts for the subject site, and extensive areas of open space will be inevitably provided.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED**.

Adopted this _____ day of _____, 20____.



Petition Number: 2016-14-DP

Subject Site Address: 7105 Whitestown Parkway

Petitioner: Giant Eagle, Inc.

Representative: Nelson & Frankenberger

Request: Development Plan Approval

Current Zoning: (GB) Rural General Business

Current Land Use: Undeveloped

Approximate Acreage: 2.263-acre

Related Petitions: 2016-13-CA

Exhibits:
Exhibit 1 – Staff Report
Exhibit 2 – Aerial Location Map
Exhibit 3 – Site Map
Exhibit 4 – Conceptual Elevation (Front, Left, Right, and Rear Elevations)
Exhibit 5 – Lighting Plan
Exhibit 6 – Planting Details
Exhibit 7 – Town Engineer Review Letter (dated May 9, 2016)
Exhibit 8 – Boone County Highway Letter (dated April 14, 2016)
Exhibit 9 - Findings of Fact
Exhibit 10 – Town Council May 2016 Memorandum

Staff Reviewer: Wayne DeLong, AICP

PROJECT OVERVIEW

Project Location

The subject property is approximately 2.263 acres located on the south side of the Whitestown Parkway, at the intersection of 700 East.

ANALYSIS

As proposed, the approximately 2.263 acre site would be improved with a 6,233 square foot one story building serving as a sales area for the retail component associated with the use, a canopy associated with the fueling component, and a surface parking lot. Details related to the proposal are outlined in this report.

As part of the original contemplated development of the overall 40 acre site, the Owner entered into Zoning Commitments related to the site which, among other things, prohibited a number of land uses from occupying the site (including an Automobile Repair, Service Station). By definition, just the dispensing of fuel causes the proposed improvement the fall under the definition of Automobile Repair, Service Station). As such, the Petitioner filed 2016-13-CA (received consideration at the April 2016 Plan Commission, given Unfavorable Recommendation and subsequently Certified to Town Council for its consideration at its May 2016 meeting). At the May meeting of the Town Council, the Council approved the modification to the current commitments (see Exhibit 10).

BUILDING / ARCHITECTURE

Per the submitted site plan and renderings, the exterior of the proposed building would be comprised of a combination of modular brick veneer, modular block, fiber cement panels, glass, and aluminum. Exhibit 4 illustrates the proposed renderings of the building with the larger drawings contained in the petition packet offering a complete illustration of the proposed improvements.

WATER / SANITARY SEWER

Potable water: Water is adjacent to the site. The Petitioner's design team will ensure that proper flow rates are available and adequate pressures can be maintained related to domestic use and for fire suppression.

Sanitary Sewer: As of the writing of this staff report, staff is unaware of any issues or concerns related to sanitary sewer or capacity.

STORM WATER / DRAINAGE

The Town's Street / Storm Water Department and the Town Engineer have reviewed the proposed storm water drainage plan, as well as the County Surveyor. Approval of the County Drainage Board is required to be secured in order to discharge into the Maple Grove Legal Drain Watershed (hearing scheduled for April 18, 2016). Specific to the Drainage Plan, the Town Engineer provided comments within its letter dated May 9, 2016. As staff views the remaining

items as minor in nature, staff suggests that these items can be addressed in advance of seeking an Improvement Location Permit associated with the vertical improvements.

SIGNAGE

A sign package is identified as a part of the filing (identifying a variety of signs designed for the benefit of the facility). Staff is supportive of the sign package as submitted for permanent signs. Grand opening and/or now hiring signs will be addressed at the time of the event.

PARKING / VEHICLE ACCESS

The site will derive vehicular access from Whitestown Parkway and Grove Pass (currently a private street) via proposed curb cuts. As petitioner intends to dedicate Grove Pass to the public, staff would suggest that such dedication occur within 90 days of the approval of the Development Plan (and occur using forms approved by the County). Specific to parking, the proposed parking ratio exceed the standards of the Ordinance (40 spaces required, 68 provided).

Further, the County Highway Department provided a letter dated April 14, 2016 (in response to plans dated April 12, 2016) in which three (3) items remain to be addressed by the applicant specific to the upgrading of Grove Pass (Exhibit 8). The Petition will need to make provisions to adhere to the listed requirements.

LANDSCAPING / LIGHTING

The submittal includes a landscaping plan which provides for landscaping in both the required yards, within the parking lot, and adjacent to the building. The proposed plan provides for a variety of plantings at the required locations.

Specific to lighting, the Petitioner has provided a lighting plan as a part of the file and proposed to utilize LED lighting components (installed in both wall mounted, under canopy, and on 25-foot tall poles). While the project was filed prior to the adoption of the Town's lighting ordinance and is not subject to those standards, those standards have been shared with the Petitioner for its reference. However, as filed, staff does not have an objection to the proposed lighting package.

FINDINGS

The Plan Commission shall hear, and approve or deny, Development Plans based on Findings of the Building Commissioner or Plan Commission. Per Section 4.3.C of the Ordinance the Plan Commission is to consider the following:

1. The Development Plan is compatible with surrounding land uses because:
2. The Development Plan does demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:

3. The Development Plan does demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:

4. The Development Plan does utilize building materials and building style compatible with the Zionsville theme because:

5. The Development Plan does provide for the calculation of storm water runoff because:

6. The Development Plan does provide for current and future right-of-way dedications because:

7. The Development Plan does provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

Findings as submitted by the Petitioner are attached as a part of this report.

STAFF COMMENTS

Staff recommends approval of the petition as filed subject to:

1. Obtaining Town Engineer approval of the proposed Drainage Plan as well as outstanding items identified in its May 9, 2016 letter.
2. Recordation of the dedication of right-of-way associated with Grove Pass (executed on Town forms) within 90 days of the date of the approval of Petition 2016-14-DP.
3. Obtaining Boone County Engineer approval regarding Grove Pass (as per its letter dated April 14, 2016).

RECOMMENDED MOTION

Development Plan Motion

I move that Docket #2016-14-DP Development Plan to provide for a fuel station and convenience store in the (GB) Rural General Business Zoning District be (Approved based the findings in the staff report and the staff recommendation/ Denied/ Continued) as presented.

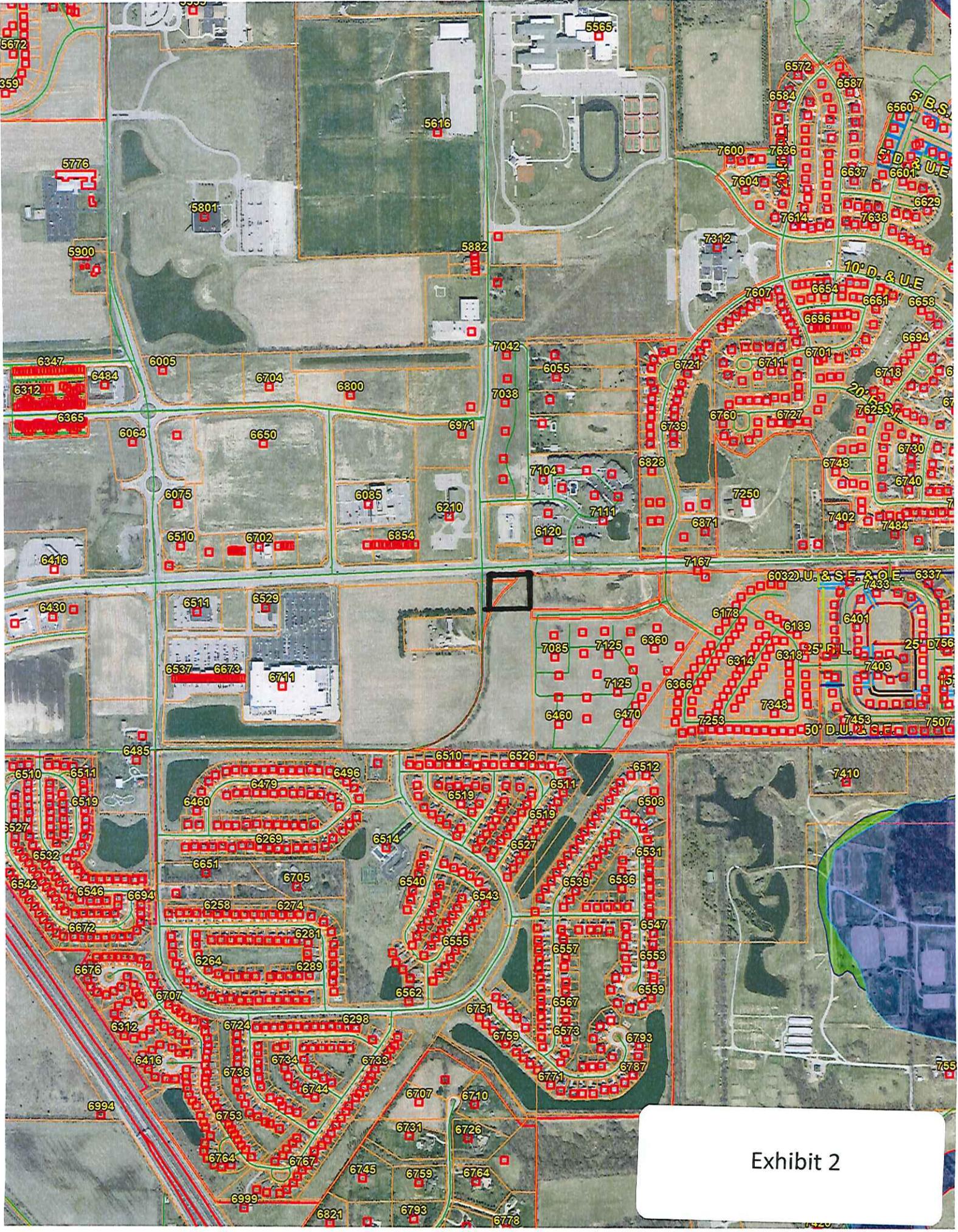
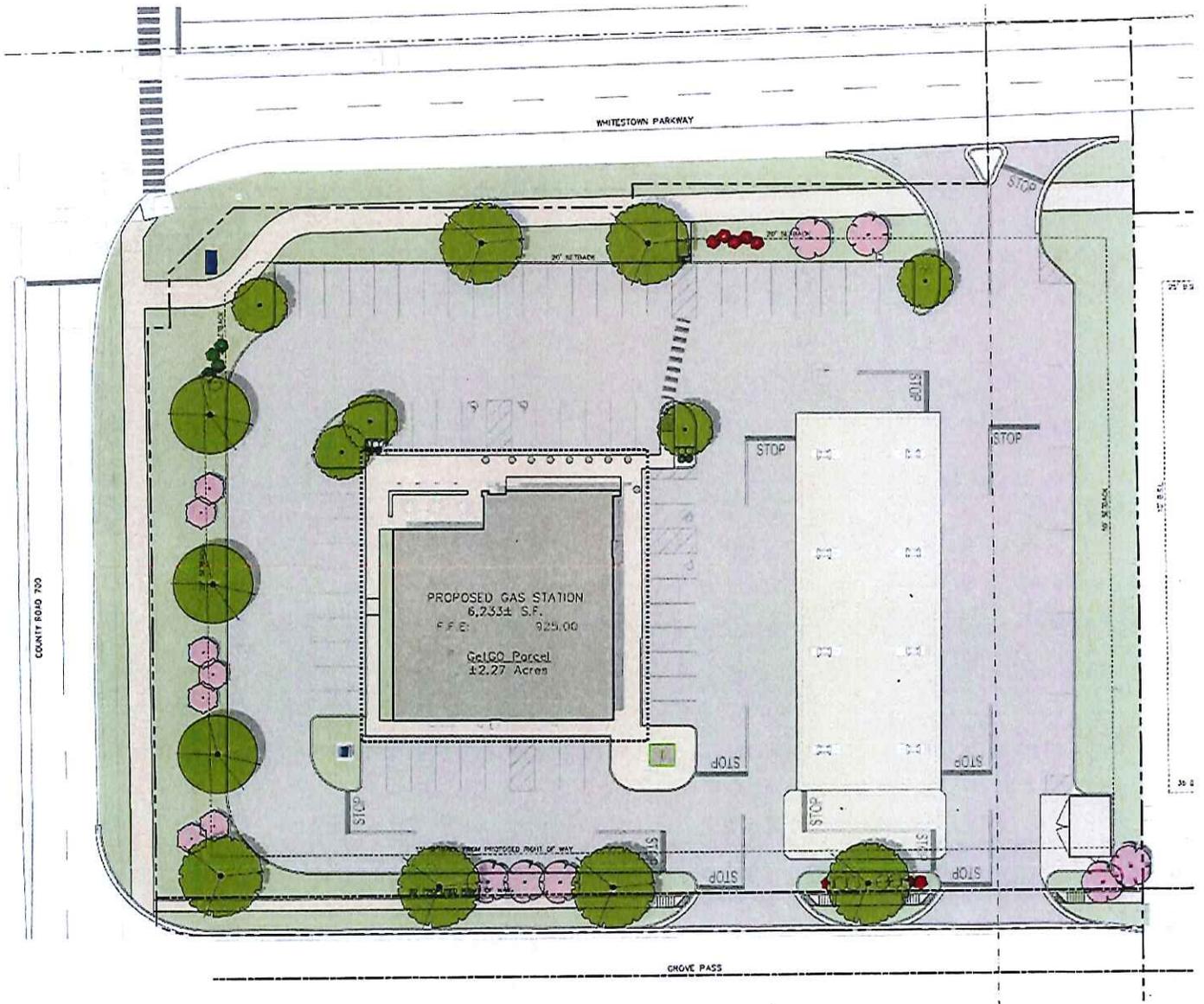
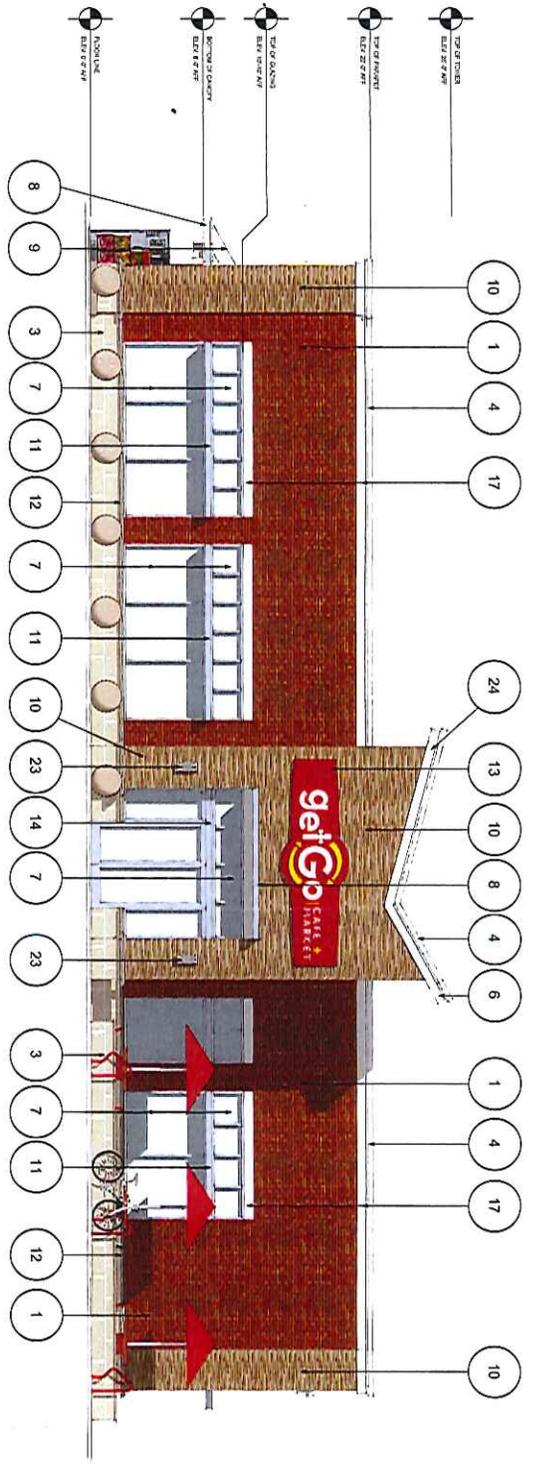


Exhibit 2



ZIONSVILLE, INDIANA
 Scale: 1" = 50'-0"



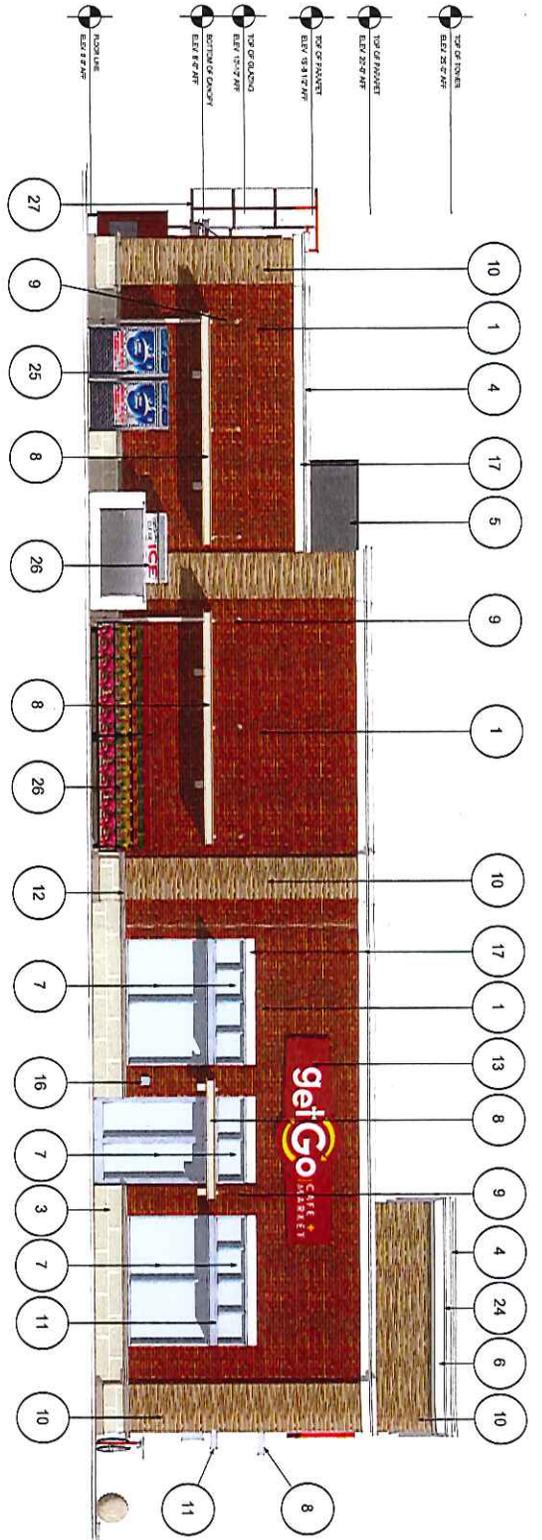


01 PROPOSED FRONT ELEVATION
Scale: 1/8" = 1'-0"
5'-0" X 15'-0" GET GO WALL SIGN
75.0 SQ. FT.

02 PARTIAL FLOOR PLAN - FRONT ELEVATION
Scale: 1/8" = 1'-0"

KEYED NOTES:

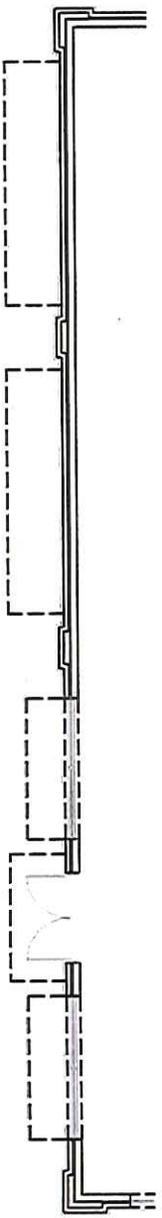
- 1 BRICKWORK, MASONRY BRICK VENEER, COLOR: "RED MOUNTAIN"
- 2 SPANSEL GLASS
- 3 COEFFICIENT COLORED, BRICK, TEXTURE: "SANDBLASTED" COLOR: "BUFF BLEND"
- 4 PREFINISHED METAL COPING TO MATCH (6)
- 5 ROOF/POE EQUIPMENT ENCLOSURE
- 6 EXTERIOR INSULATION FINISHING SYSTEM (EIFS) WITH GYPSUM CORE, SKIN: STYRENE POLYURETHANE FOAM, INSULATION: POLYURETHANE FOAM, FINISH: ALUMINUM FLUOROPOLYMER COATING
- 7 GLASS, THERMOPLASTIC INSULATED GLAZING SYSTEM, STAINED GLASS
- 8 PREFINISHED METAL CANOPY BY USFS, COLOR: "SANDSTONE"
- 9 CANOPY/TECHNO. REFER TO STRUCTURAL, PAINT FINISH: "SANDSTONE" COLOR: "SANDSTONE" WALLS: "SANDSTONE" COLOR: "SANDSTONE"
- 10 ALUMINUM SHIMS, COLOR: TO MATCH
- 11 ALUMINUM SHIMS, COLOR: TO MATCH
- 12 STONEFRONT FINISH
- 13 SILL, ANTI-SWIFT, FINISH: SANDSTONE MASONRY, TEXTURE: "ROCKED" GEOMETRIC COLOURS: "VANDERBILT" COLOR: "SANDSTONE" COLOR: "SANDSTONE"
- 14 COORDINATE IRON FINISHMENTS WITH SIGNAGE
- 15 CLEAR ANODIZED ALUMINUM SHIMS, METAL TO MATCH STONEFRONT FINISH
- 16 HOLLOW METAL DOOR, COLOR: TO MATCH (1)
- 17 EMERGENCY REL. STOP
- 18 ANTI-SWIFT, FINISH: SANDSTONE MASONRY, TEXTURE: "ROCKED" GEOMETRIC COLOURS: "VANDERBILT" COLOR: "SANDSTONE" COLOR: "SANDSTONE"
- 19 PAINTED METAL DOWNPOUT COLOR: TO MATCH (1)
- 20 THROATLINE WALL, SPREAD PAINTED, THROATLINE WALL, SPREAD PAINTED, THROATLINE WALL, SPREAD PAINTED
- 21 MOUNTED HORIZONTALY COLOR: TO MATCH (3)
- 22 2" X 4" TYPICAL, MOUNTED HORIZONTALY COLOR: TO MATCH (3)
- 23 2" X 4" TYPICAL, MOUNTED HORIZONTALY COLOR: TO MATCH (3)
- 24 WALL MOUNT LIGHTING FIXTURE (REFER TO ELEC. DWGS.)
- 25 RECESSIVE WALL SCONCE (REFER TO ELEC. DWGS.)
- 26 RECESSIVE UNDER LED LIGHTING FIXTURE
- 27 PROPANE GAS
- 28 OUTDOOR EQUIPMENT VENTILATION
- 29 ROOF UNDER W. SAFETY CAZE, COLOR: TO MATCH (1)
- 30 CT. CABINET AND KEYS



01 PROPOSED LEFT ELEVATION
Scale: 1/8" = 1'-0"

5'-0" X 15'-0" GET GO WALL SIGN
75.0 SQ. FT.

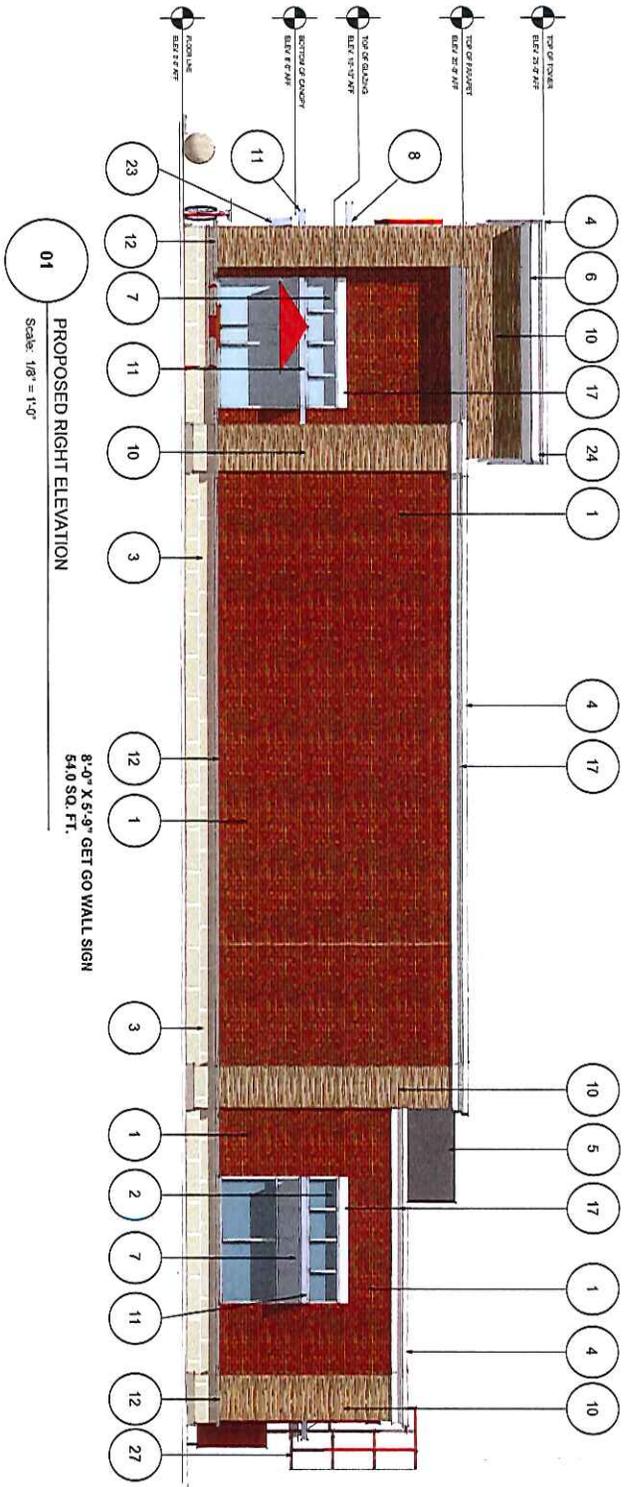
02 PARTIAL FLOOR PLAN - LEFT ELEVATION
Scale: 1/8" = 1'-0"



- KEYED NOTES:**
- 1 BRANTON BUCK-ANGULAR BROCK VASER, COLOR: "RED SMOOTH"
 - 2 SPANREL GLASS
 - 3 GENFIELD COSMOS BUCK TEXTURE SAND/SLTDR. COLOR: "BUFF BUDY"
 - 4 PREFINISHED METAL COPING TO MATCH (6)
 - 5 ROOFTOP EQUIPMENT ENCLOSURE
 - 6 EXTERIOR NEAR-TOP FINISHING SYSTEM/PAINT COLOR: "ROSE SWIFT ALUMINUM FINE"
 - 7 GLASS STOREFRONT SYSTEM CLEAR ANODIZED ALUMINUM #1 INSULATED GLAZING
 - 8 PREFINISHED METAL CANOPY BY WAFER. COLOR: "SANDSTONE"
 - 9 CANOPY THE SIGN, REFER TO STRUT/PURLI/PANT MOUNTING PLATES - COLOR: SHERWIN WILLIAMS NOVAHESB TO COORDINATE WITH SIGN SYSTEM. STOKED STONE. COLOR: "VESEB"
 - 10 ALUMINUM SIGNAGE. COLOR TO MATCH STOREFRONT FINISHING
 - 11 ALUMINUM SIGNAGE. COLOR TO MATCH STOREFRONT FINISHING
 - 12 SIL. ABRASZYT - RENAISSANCE VASORNT, TEXTURE: "ROCKED, GEORGIA COLORS, VANDER" SERVICE BY EGAN CONTRACTOR, BROOMED BY GC CONTRACTORS
 - 13 COORDINATE FINISHMENTS WITH SERVICE CLEAR ANODIZED ALUMINUM BRACK METAL TO MATCH STOREFRONT FINISHING
 - 14 HOLLOW METAL DOOR. COLOR TO MATCH (1)
 - 15 HOLLOW METAL DOOR. COLOR TO MATCH (1)
 - 16 EXPERIMENTAL SIGN
 - 17 PREGROUT RENAISSANCE BAZOOKA™ THERMAL SIGNING, GEORGIA COLORS, "SANDY" PAINTED METAL DOWNSPOUT COLOR: TO MATCH (1)
 - 18 THROUGH WALL SIGN & PAINTED METAL CONDUCTION HEAD. COLOR TO MATCH (1)
 - 19 15' LONG 2" DIA PVC PIPE, MOUNTED HORIZONTAL COLOR TO MATCH (3)
 - 20 CO-2 TANK ENCLOSURE BY ONYX/VEAS. COLOR: "RED AND ROSE"
 - 21 WALL AND LIGHTING FINISH (REFER TO BLDG DRS)
 - 22 RECESSED UNPAINTED UPRATING FINISH (REFER TO BLDG DRS)
 - 23 PROPANE CAGES
 - 24 OUTDOOR EQUIPMENT MESH HOUSE
 - 25 ROOF LACERIN W. SAFETY CAGE. COLOR TO MATCH (1)
 - 26 CT CASKET AND LETTER

KEYED NOTES:

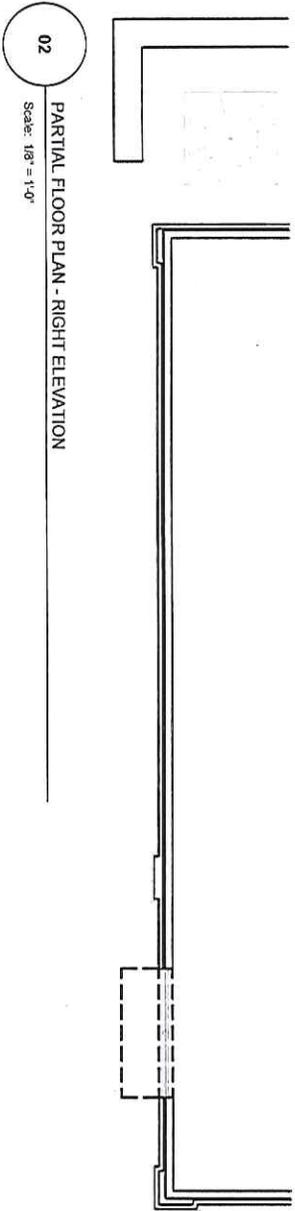
- 1) BARNWOODS®-MODULAR BRICK VENEER
COLOR: "RED SHEDDING"
- 2) SPANISH GLASS
- 3) GEMFLEX® COLORED BLOCK TEXTURE
SANDBLASTED COLOR: "W/FF ELBOR"
- 4) PREFINISHED METAL COPING TO MATCH 6
- 5) ROOFTOP EQUIPMENT ENCLOSURE
- 6) FIBERGLASS INSULATED POLYURETHANE STRUCTURE WITH
COLOR: "CONCRETE" FIBERGLASS INSULATION
- 7) GLASS STOREFRONT SYSTEM CLEAR ANODIZED
ALUMINUM w/ T INSULATED GLAZING
- 8) PREFINISHED METAL CANOPY BY WALES, COLOR:
"SANDSTONE"
- 9) CANOPY/TERNOOL REFER TO STRUCTURAL PAINT
DOCKING PLANS - COLOR: SHERMAN WALLS
NON-HA FIRE RATED BY SHERMAN HALL
- 10) SYSTEM: STONED STONE, COLOR: "DESERT"
STOREFRONT FRAMING
- 11) ALUMINUM SHIMSHUE, COLOR TO MATCH
- 12) SILL - ANISSORIT - RENAISSANCE WAGONRY
TEXTURE: ROBERT, GEORGIA, COLOR: "CONCRETE"
SOURCE: FRESH CONTRACTORS, BLOOMING BY GIC
- 13) COORDINATE REPAIRMENTS WITH SOURCE
- 14) CLEAN ANODIZED ALUMINUM FRAME METAL TO
MATCH STOREFRONT FRAMING
- 15) HOLLOW METAL DOOR, COLOR TO MATCH 1
- 16) EMERGENCY REL. STOR
- 17) ANISSORIT - RENAISSANCE WAGONRY
TEXTURE: SHERMAN, GEORGIA, COLOR: "SANDER"
- 18) PAINTED METAL DOWNSPOUT COLOR TO MATCH 1
- 19) THROUGH WALLS: COPPER & PAINTED
METAL CONDUCTION HEAD, COLOR TO MATCH 1
- 20) 18" LONG 2" DIA. P.C PIPE, MOUNTED HORIZONTAL, COLOR TO MATCH
CO-2 TANK ENCLOSURE BY CONTRACTORS, COLOR:
"REDLANDSIDE"
- 21) WALL AND LIGHTING FINISH
REFER TO ELEC. DIVISION
- 22) WALL AND LIGHTING FINISH
REFER TO ELEC. DIVISION
- 23) DECATIVE WALL SOURCE
REFER TO ELEC. DIVISION
- 24) RECESSED LINEAR LED LIGHTING FINISH
- 25) PROJECT CASES
- 26) OUTDOOR EQUIPMENT MESH ENCLOSURE
- 27) ROOF LADDERS W/ SAFETY CASE, COLOR TO MATCH 1
- 28) CT CASE/FRAMING METERS



PROPOSED RIGHT ELEVATION

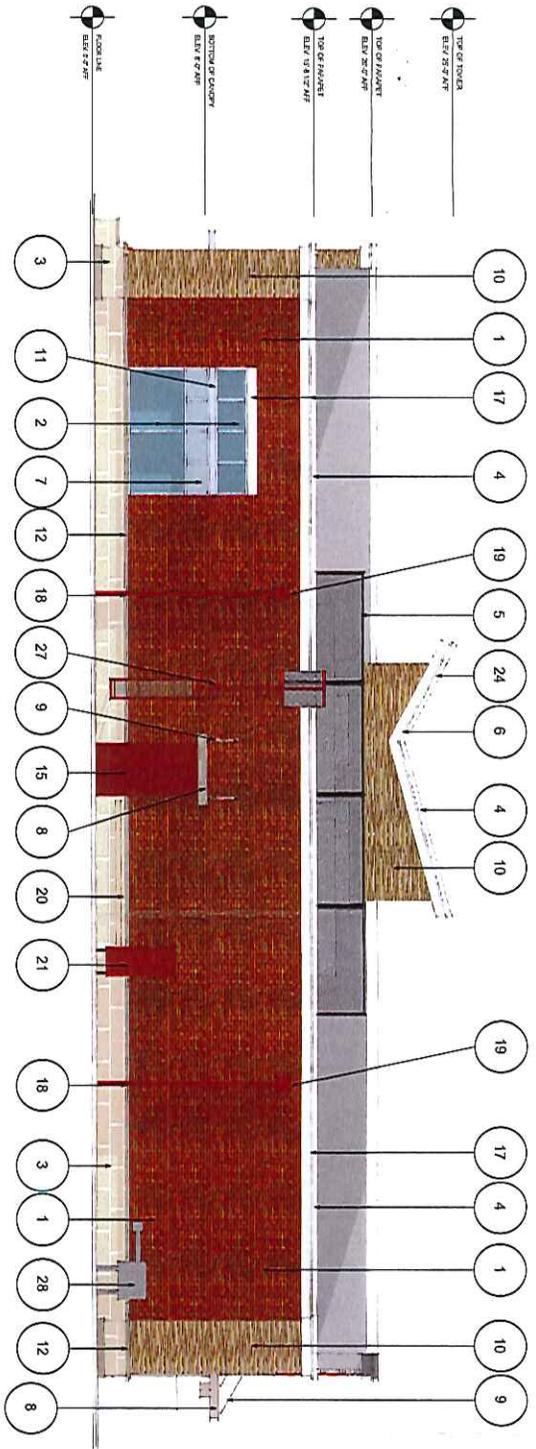
Scale: 1/8" = 1'-0"

8'-0" X 8'-9" GET GO WALL SIGN
54.0 SQ. FT.

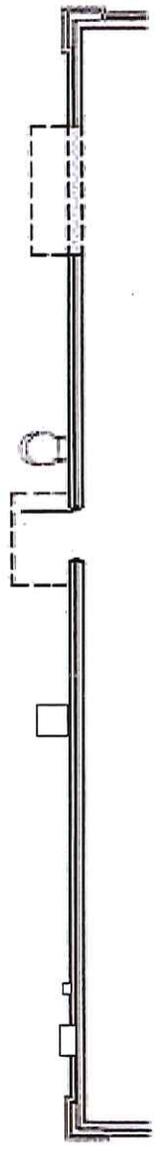


PARTIAL FLOOR PLAN - RIGHT ELEVATION

Scale: 1/8" = 1'-0"



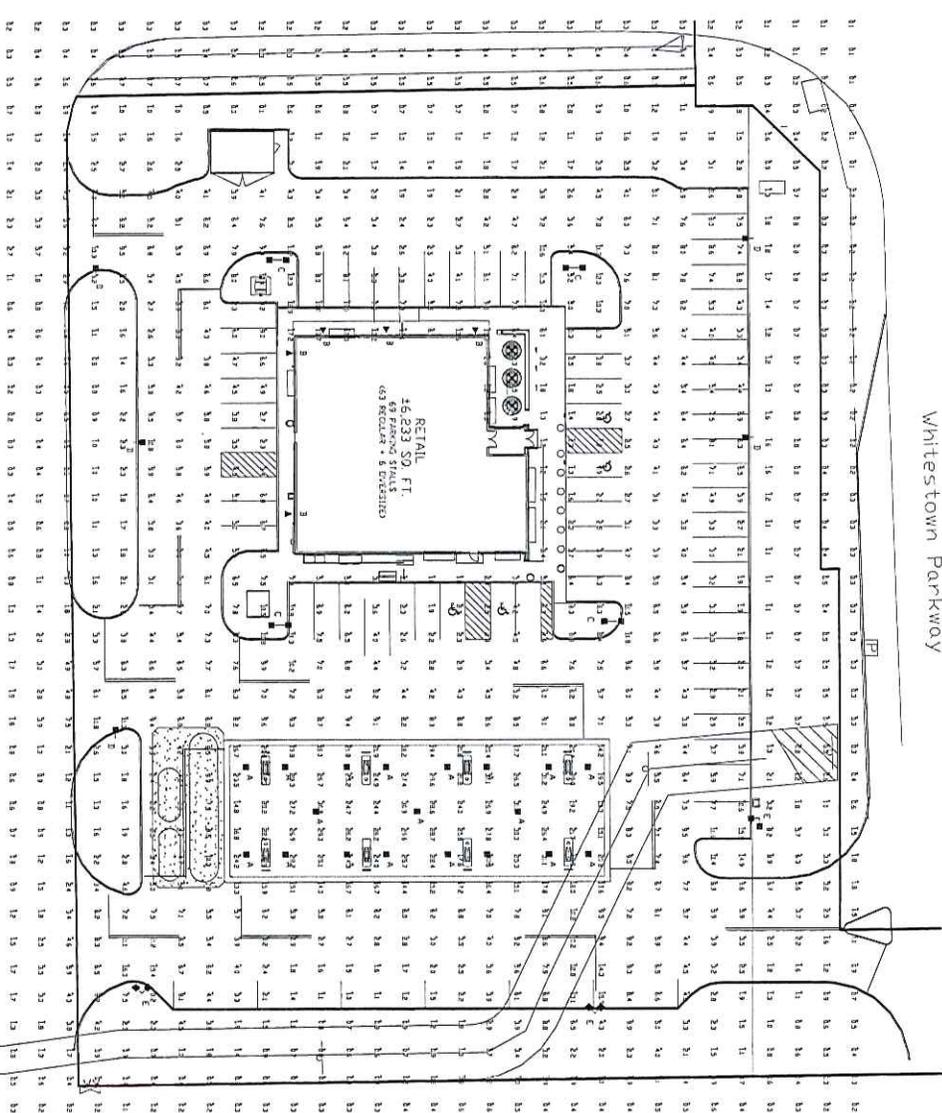
01 PROPOSED REAR ELEVATION
Scale: 1/8" = 1'-0"



02 PARTIAL FLOOR PLAN - REAR ELEVATION
Scale: 1/8" = 1'-0"

- KEYED NOTES:**
- 1 BATHROOM - NICOLA BRICK TOWER
COLOR - "RED SMOOTH"
 - 2 SPANSEL GLASS
 - 3 OBER-ALDE COLORED BLOCK TEXTURE
SUBSTRATE COLOR - "BIF EBONY"
 - 4 FINISHED METAL COPING TO MATCH (6)
 - 5 ROOFTOP EQUIPMENT ENCLOSURE
 - 6 EXTERIOR METAL RAINING SYSTEM WITH
COLOR - "DORNER SIV" ALUMINUM ANODIZED
GLASS STORMDOOR SYSTEM CLEAR ANODIZED
ALUMINUM #1 INSULATED GLAZING
SYSTEM
 - 7 ALUMINUM #1 INSULATED GLAZING
SYSTEM
 - 8 FINISHED METAL CANOPY BY WARS. COLOR -
"SANDSTONE"
 - 9 CANOPY TIE-ROD. REFER TO STRUCTURAL PAINT
MOUNTING PLATES - COLOR: SHERMAN WALLS
 - 10 NICOLA RESTRICTION PANGLOSS PANEL
SYSTEM STITCHED STONE. COLOR: "TERRIER"
 - 11 ALUMINUM SUNSHADE. COLOR TO MATCH
STORMDOOR FRAMING
 - 12 SIL. ANTI-SPLAT - RENAISSANCE WAGONRY
TERME SANSON. GEORGIA COLORS. "VANIER"
 - 13 STORAGE ROOM CONTRACTOR BLOCKING BY GC.
COLOR TO MATCH (1)
 - 14 CLEAN ANODIZED ALUMINUM HANG METAL TO
MATCH STORMDOOR FRAMING
 - 15 HOLLOW METAL DOOR. COLOR TO MATCH (1)
 - 16 BURNED RIEL STIPE
 - 17 ANTI-SPLAT - RENAISSANCE WAGONRY
TERME SANSON. GEORGIA COLORS. "VANIER"
 - 18 PAINTED METAL DOWNSPOUT COLOR TO MATCH (1)
 - 19 THROUGH WALL SOFFER & FINISHED
METAL CONDUCTION HEAD. COLOR TO MATCH (1)
 - 20 15' LONG 2" DIA. PVC PIPE
MOUNTED HORIZONTALLY COLOR TO MATCH (3)
 - 21 CO2 TANK ENCLOSURE BY CRISCOFELS. COLOR
"REDLANDER"
 - 22 WALL AND LIGHTING FEATURE
PERMIT TO BEAT DIVISION
 - 23 RECESSED METAL LIGHT FIXTURE
REFER TO BEAT DIVISION
 - 24 RECESSED UNDER LED LIGHTING FEATURE
 - 25 PROPANE CASES
 - 26 OUTDOOR EQUIPMENT ENCLOSURE
 - 27 ROOF LADDER WITH STEEL CASE. COLOR TO MATCH (1)
 - 28 CT CASE AND METERS

Whitestown Parkway



Grid	Label	Description	UF	Location/Type	Area, Luminaire	Area, Watts
19	A	60'S-5'-11"X-5'-6"X-4" LED 8' IS	650	NA	1354	34
18	B	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
17	C	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
16	D	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
15	E	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
14	F	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
13	G	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
12	H	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
11	I	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
10	J	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
9	K	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
8	L	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
7	M	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
6	N	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
5	O	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
4	P	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
3	Q	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
2	R	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55
1	S	60'S-4'-9"X-11"X-4"X-3"X-4" LED 8' 9'-5"	650	NA	4856	55

Category	Item	Quantity	Area	Power	Notes
Calculation Summary	LED CANOPY LIGHTS	12	224	148	238
	LED CROSSOVER AREA LIGHTS	12	224	148	238
	TOTAL	24	448	296	476

Based on the information provided, all equipment and luminaire locations are subject to change. The lighting design is based on the information provided and is not a guarantee of performance. The lighting design is based on the information provided and is not a guarantee of performance. The lighting design is based on the information provided and is not a guarantee of performance.

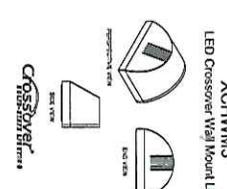
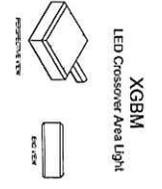
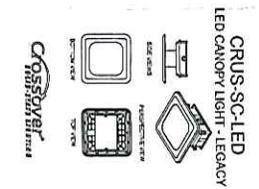
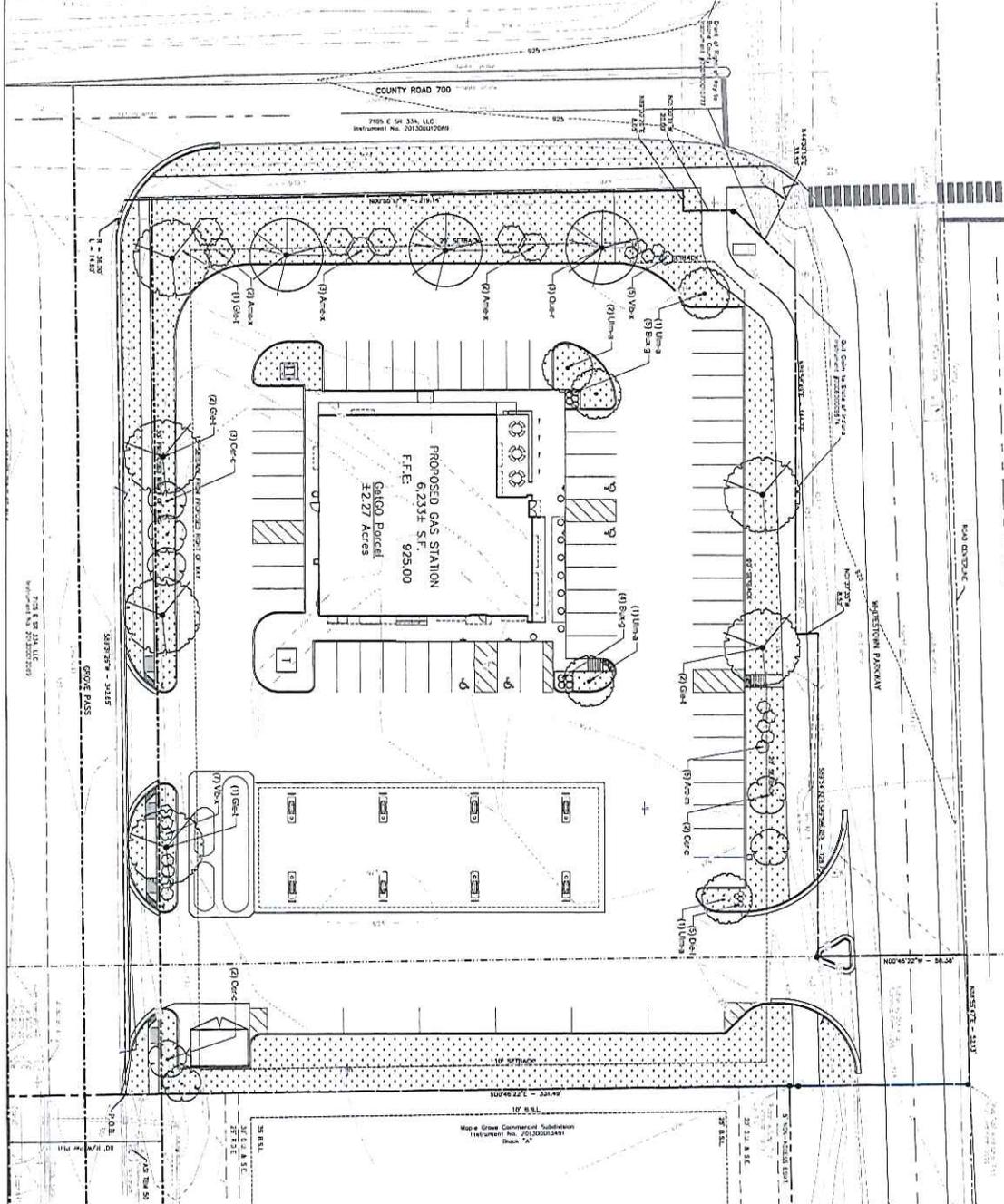


Exhibit 5

Final Project with
Final AIAA - 5/14

DATE: 5/14/2024
PROJECT: LED-131770
SCALE: 1/8" = 1'-0"



DESIGN/BUILD LANDSCAPE AND PLANNING NOTES

- Plant material to be installed and maintained by qualified and experienced landscape architect.
- Landscaping shall be installed in accordance with the approved landscape plan and specifications. The landscape architect shall be responsible for the selection and installation of all plant material. The landscape architect shall be responsible for the selection and installation of all plant material. The landscape architect shall be responsible for the selection and installation of all plant material.
- Plant material shall be installed in accordance with the approved landscape plan and specifications. The landscape architect shall be responsible for the selection and installation of all plant material. The landscape architect shall be responsible for the selection and installation of all plant material.
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- Plant material shall be installed in accordance with the approved landscape plan and specifications. The landscape architect shall be responsible for the selection and installation of all plant material. The landscape architect shall be responsible for the selection and installation of all plant material.

ORDNANCE CHART

MINIMUM YARDS

Back 30' LT, side 20' LT, front 25' LT

MINIMUM HEIGHT

Maximum 12' height

MINIMUM SETBACKS

Front 10' LT, side 5' LT, back 10' LT

MINIMUM AREA

Minimum 100 sq ft

MINIMUM SPACING

Minimum 10' between plants

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISIONS	01/20/19

REVISION SCHEDULE

NO.	REVISION	DATE
1	REVISIONS	01/20/19

PLANTING PLAN

Project Number: 2018-03188

C800

Exhibit 6





To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: May 9, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	GETGO Café and Market	
	Location	7103 E. Whitestown Parkway	
	Developer	Giant Eagle, Inc.	
	Submittal	#3	
Documents Reviewed		Document Name	Document Date
		Construction Plans	May 5, 2016 (Plot Stamp Edit Date)
		Drainage Report	May 6, 2016 (Rev 2)
Zoning	Current	R-GB	
	Proposed	R-GB	
Land Use	Current	Fallow	
	Proposed	Business	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town's standards or requirements:

I. CONSTRUCTION PLANS

- A. The access easement over the pathway along Whitestown Road should extend to the lot line through the drainage easement on the NW corner and the NE corner of the lot to cover the entire pathway.
- B. Construction plans shall be signed by a licensed professional engineer.

II. DRAINAGE REPORT

- A. Provide a detail for the hydraulic structures (STR 13 and STR 24) controlling the flow split between the isolator rows and the remainder of the underground storage systems.
- B. A registered professional engineer needs to seal the drainage report.
- C. An E&O insurance certificate from the engineer needs to be provided with the drainage report.



1955 INDIANAPOLIS AVE

Lebanon, IN 46052

Phone: (765) 482-4450 | Fax: (765) 483-4451

TO: Wayne DeLong, Director of Planning and Economic Development

FROM: Craig M. Parks, Boone County Engineer

DATE: April 14, 2016

SUBJECT: GetGo Project Review, Submittal #2

We have completed our review of the referenced project and based on our review of the plans and comments submitted to you by the Town Engineer, we offer the following additional comments:

1. We would request 5' sidewalk along Grove Pass to meet current ADA recommendations.
2. It appears the sidewalk along Grove Pass goes out of right of way near 700E. Please modify the right of way to include a corner cut to ensure the sidewalk is within public right of way.
3. Please incorporate the Boone County Standard pavement section for a secondary street in your plans for the construction of Grove Pass.

If you have any questions, do not hesitate contacting me.

Exhibit 8

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN/MODIFICATION OF DEVELOPMENT PLAN

FINDINGS

1. The Development Plan/Modification of Development Plan is compatible with surrounding land uses because the subject site is zoned as Rural General Business (GB) and the proposed use is a permitted use under the Rural GB zoning classification. Further, the uses that generally surround the subject site are also zoned Rural GB and include commercial and retail types of uses.
2. The Development Plan/Modification of Development Plan does demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because the proposed development plans demonstrate that water, sanitary sewer, storm water drainage and other utilities have been accounted for and will be available to serve the subject site.
3. The Development Plan/Modification of Development Plan does demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because the proposed development plans have taken into account the existing roadways and designed the entrance and exist points onto the subject site in consideration of the surrounding roadways.
4. The Development Plan/Modification of Development Plan does utilize building materials and building style compatible with the Zionsville theme as evidenced by the elevations and proposed building materials for the subject building.
5. The Development Plan/Modification of Development Plan does provide for calculation of storm water runoff because the Petitioner has filed with the development plans and drainage plan that provides for the design and calculation of storm water runoff.
6. The Development Plan/Modification of Development Plan does provide for current and future right-of-way dedications because the development plans have been designed in conjunction with reviewing the Towns Thoroughfare Plan and the development plan provides for the appropriate right-of-way dedications.
7. The Development Plan Modification of Development Plan does provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because the development plans, as filed, depict the building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space (if applicable) and the outdoor lighting.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development

Plan is **APPROVED/DENIED**.

Adopted this _____ day of _____, 2016.



**ZIONSVILLE TOWN COUNCIL
MEETING MEMORANDA
FOR**

Monday May 2, 2016 at 7:00 PM
Zionsville Town Hall – Beverly Harves Meeting Room
1100 West Oak Street
(Note: Meeting preceded by the Council pre-meeting
at 6:30 p.m. in the Town Hall Conference Center)

Date of Preparation: May 4, 2016

Members Present: Susana Suarez, Elizabeth Hopper, Jeff Papa, Kevin Spees, Bryan Traylor, Tom Schuler, Josh Garrett

Also Present: Tim Haak, Mayor; Ed Mitro, Town Manager; Attorney, Rich Starkey, Barnes & Thornburg; Amy Lacy, Director of Finance & Records and Town Department Staff

1. OPENING

- A. Call meeting to order
- B. Pledge of Allegiance

2. APPROVAL OF THE MEMORANDA OF THE APRIL 4, 2016 REGULAR MEETING (COPY POSTED).

COUNCIL ACTION: Councilor Traylor moved to approve the Memoranda of the April 4, 2016 Town Council Meeting. Councilor Garrett seconded the motion. The Memoranda of the April 4, 2016 meeting was approved by a vote of seven in favor, zero opposed.

3. DEPARTMENTAL MONTHLY REPORTS

Monthly Reports submitted by the Town management staff for Council review and posted on the Town's website (www.zionsville-in.gov).

4. REQUEST TO SPEAK – There being no Request to Speak cards submitted, President Suarez requested that anyone wishing to speak please step forward at this time. No response was given from the audience.

5. OLD BUSINESS

- A. Consideration of a Resolution regarding the enlargement of PERF enrollment. **RESOLUTION #2016-08**

Town Manager Ed Mitro briefly reviewed Resolution 2016-08 regarding the addition of positions to the PERF enrollment to include new or changed position titles.

COUNCIL ACTION: Councilor Garrett moved to approve Resolution #2016-08 and Councilor Hopper seconded the motion. Resolution #2016-08 was approved by a vote of seven in favor, zero opposed.

- B. Consideration of a request for a waiver of Chapter 50 of the Town of Zionsville Code of Ordinances/Drainage Code (DeRossi property project).

Matt Price, Attorney for the DeRossi property project, reviewed the project and the need for the requested waiver. He provided a letter from Ken Hedge, Boone County Surveyor.

COUNCIL ACTION: Councilor Traylor made a motion to approve the request for the waiver and Councilor Hopper seconded the motion. The waiver request was granted by a vote of seven in favor, zero opposed.

6. NEW BUSINESS

- A. Consideration of an Additional Appropriation Resolution (\$250,000.00 LIDS grant from the IEDC). (PUBLIC HEARING) **RESOLUTION #2016-09**

After a review of Resolution #2016-09 by Wayne Delong, Director of Planning and Economic Development regarding the need for the Additional Appropriation to allow funds to be transferred from the general TIF fund to a specific line item, President Suarez, with Proof of Publication for a Public Hearing, opened the Public Hearing for comment. With no public comment, President Suarez closed the Public Hearing and called for discussion or a motion on Resolution #2016-08.

COUNCIL ACTION: Councilor Garrett moved to approve Resolution #2016-08 and Councilor Traylor seconded the motion. Resolution #2016-08 was approved by a vote of seven in favor, zero opposed.

- B. Consideration of an Additional Appropriation Resolution (\$186,901.72 for the creation of a Planner II position in the Department of Planning and Economic Development and a Director of Communications and Community Relations position in the Administration Department (PUBLIC HEARING). **RESOLUTION #2016-10**

- C. Consideration of an Amendment to the Town of Zionsville's 2016 Salary Ordinance to:

1. change a position's title and rating and add a position and rating to the Department of Planning and Economic Development; and
2. add the position and rating to the Administration Department. **ORDINANCE #2016-05**

Town Manager Ed Mitro reviewed Item 6B, Additional Appropriation Resolution #2016-10 and Item 6C, Consideration of an Amendment to the Town of Zionsville's 2016 Salary Ordinance #2016-05 and requested that item 6B be continued to the June 6, 2016 Town Council Meeting and item 6C be tabled until the June 6 Meeting as well.

President Suarez called for a motion to continue Consideration of an Additional Appropriation Resolution #2016-10 and table Consideration of an Amendment to the 2016 Zionsville Salary Ordinance #2016-05 to the June 6, 2016 Town Council meeting.

COUNCIL ACTION: Councilor Spees moved to continue the Consideration of An Additional Appropriation Resolution # 2016-10 and table the Consideration of an Amendment to the Town of Zionsville's 2016 Salary Ordinance #2016-05 to the June 6, 2016 Town Council meeting. Councilor Papa seconded the motion. The motion was approved by a vote of 7 in favor, zero opposed.

- D. Consideration of a Declaratory Resolution regarding an amendment to the 334/700 Economic Development Area / approval of the Economic Development Plan (EDP) supplement. **RESOLUTION #2016-11**

Wayne Delong, Director of Planning and Development reviewed Resolution #2016-11.

COUNCIL ACTION: Councilor Garrett moved to approve Resolution #2016-11 and Councilor Traylor seconded the motion. Resolution #2016-11 was approved with a vote of seven in favor, zero opposed.

- E. Consideration of a Cash Change Fund Ordinance for the Town of Zionsville. **ORDINANCE #2016-06**

Amy Lacy, Director of Finance and Records reviewed Ordinance #2016-06 and stated it would improve accountability and strengthen internal controls.

COUNCIL ACTION: Councilor Hopper moved to adopt Ordinance #2016-06 on first reading and Councilor Garrett seconded the motion. The motion passed with a vote of seven in favor, zero opposed.

Councilor Schuler moved to suspend the rules and Councilor Garrett seconded the motion. The motion passed with a vote of seven in favor, zero opposed.

Councilor Schuler moved to adopt Ordinance #2016-06 on final reading and Councilor Garrett seconded the motion. Ordinance #2016-06 was adopted by a vote of seven in favor, zero opposed.

F. Consideration of an Ordinance to establish the position of Deputy Mayor for the Town of Zionsville. **ORDINANCE #2016-07**

Mayor Tim Haak reviewed Ordinance #2016-07 and discussed the need for the position of Deputy Mayor which would replace the current title job title of Town Manager.

COUNCIL ACTION: Councilor Papa moved to adopt Ordinance #2016-07 on first reading and Councilor Hopper seconded the motion. The motion passed with a vote of in seven favor, zero opposed.

Councilor Papa moved to suspend the rules and Councilor Hopper seconded the motion. The motion passed with a vote of seven in favor, zero opposed.

Councilor Papa moved to adopt Ordinance #2016-07 on final reading and Councilor Hopper seconded the motion.

Ordinance #2016-07 was adopted by a vote of seven in favor, zero opposed.

G. Consideration of a Zoning Ordinance amendment to modify both text and graphics of an existing Planned Unit Development (PUD) document (Creekside Corporate Park PUD). **ORDINANCE #2016-08**

Wayne Delong, Director of Planning and Economic Development reviewed Ordinance #2016-08.

COUNCIL ACTION: Councilor Traylor moved to adopt Ordinance #2016-08 on first reading and Councilor Spees seconded the motion. The motion passed with a vote of seven in favor, zero opposed.

Councilor Garrett moved to suspend the rules and Councilor Papa seconded the motion. The motion passed with a vote of seven in favor, zero opposed.

Councilor Traylor moved to adopt Ordinance #2016-08 on final reading and Councilor Garrett seconded the motion.

Ordinance #2016-08 was adopted by a vote of seven in favor, zero opposed.

H. Consideration of a commitment amendment to provide for modification of Commitments made in relation to Ordinance #2009-05 in the Rural General (GB) Business District.

Wayne Delong, Director of Planning and Zoning reviewed the commitment amendment and stated that the certification was presented with a unanimous unfavorable recommendation from the Plan Commission. He also stated that it was part of a two part process for the Plan Commission, with the Consideration of the commitment modifications already being heard and the development plan still pending.

Questions and discussion from Council followed.

Matt Price, Attorney for the Get Go project and Pat Avolio, Director of Real Estate Development for the project answered questions and reviewed the project.

At President Suarez's request, Councilor Papa reviewed the history of the issues regarding the area in question.

President Suarez called for a motion to approve the change in commitments as described in the commitment amendment in relation to Ordinance #2009-05.

COUNCIL ACTION: Councilor Garrett moved to approve the commitment amendment to provide for modification of Commitments made in relation to Ordinance #2009-05 in the Rural General (GB) Business District. Councilor Hopper seconded the motion. The commitment amendment was approved by a vote of seven in favor, zero opposed.

6. APPROVAL OF CLAIMS

COUNCIL ACTION: Councilor Garrett moved to approve the claims as presented and Councilor Spees seconded the motion. Claims were approved by a vote of seven in favor, zero opposed.

7. ADJOURN

COUNCIL ACTION: Councilor Hopper moved to adjourn and Councilor Garrett seconded the motion. The motion was approved by a vote of seven in favor, zero opposed.

The next regular Town Council meeting is scheduled for Monday June 6, 2016 @ 7:00 PM.

Respectfully submitted,

Amelia Anne Lacy, Director Finance and Records



Petition Number: 2016-25-DP

Subject Site Address: 5400 W. 106th Street-Lot 6 Creekside Corporate Park
(10910 Creek Way – unassigned address)

Petitioner: DMP Property, LLC

Representative: DMP Property, LLC / David Rausch Studios

Request: Petition for Development Plan Approval to provide for an approximate 18,000 sf office building, in the Creekside Corporate Park PUD Zoning District

Current Zoning: Creekside Corporate Park PUD Zoning District

Current Land Use: Undeveloped

Approximate Acreage: 2.17 acres

Zoning History: 2010-24-Z (Rezone from I-3 Heavy Industrial to PUD)
2015-02-Z (PUD Amendment) (Approved)
2016-16-Z (PUD Amendment) (Approved)
2016-18-PP (Approved)

Exhibits: Exhibit 1 – Staff Report
Exhibit 2 – Aerial Location Map
Exhibit 3 – Site Plan
Exhibit 4 – Conceptual Elevations
Exhibit 5 – Landscaping Plan
Exhibit 6 – Lighting Plan
Exhibit 7 – Town Engineer’s Comment Letter (dated May 10, 2016)
Exhibit 8– Findings of Fact

Staff Reviewer: Wayne DeLong, AICP

PETITION HISTORY

This petition will receive a public hearing at the May 16, 2016 Plan Commission meeting.

PROPERTY HISTORY

75 acres of the current CREEKSIDE PUD (the "PUD") was rezoned in 2015 (2015-02-Z) to the Planned Unit Development classification in anticipation of redevelopment but under the ownership of the Town of Zionsville (being its Redevelopment Commission). Subsequent to the 2015 action, the site received additional amendments to the PUD document (found in Petition 2016-16-Z). Lot 6 in Creekside Corporate Park is anticipated to be recorded with the Office of the Boone County Recorder in late May 2016.

ANALYSIS

As contemplated, the property would be improved with an 18,000 square foot building and associated site improvements in association with a professional office use.

DEVELOPMENT PLAN REVIEW

Zoning Ordinance

The development plan has been reviewed using the standards of the Zionsville Zoning Ordinance (Ordinance) and relevant PUD document and found to be in compliance. A Technical Advisory Committee (TAC) meeting was conducted on and Town staff comments were provided to the Petitioner. Since that time, an additional round of reviews has occurred (as further outlined in this report). Per the Town Engineer's comment letter dated May 10, 2016, a few questions remain related to specific construction technical standards, however, staff is confident that these items can be resolved in the timely manner.

Architecture & Building Materials

The proposed improvements utilize a variety of materials and colors (rendering attached to this report). As contemplated, the architecture is in compliance with the PUD.

Utility Access

Adequate access to utilities is or will be available to facilitate the project.

Streets & Vehicular Circulation

The development would derive access from West 106th Street via a Creek Way. Pedestrian circulation will be accommodated by the proposed public sidewalk as well as the planned pathway system.

Parking

The proposed site development complies with ordinance standards as the site would be improved with parking to serve the proposed use (63 spaces required / 63 spaces provided).

Landscaping

As proposed, the site would be improved with a combination of deciduous and evergreen trees and shrubs as well as a variety of other types of plantings and features. As proposed, staff is supportive of the contemplated landscape plan.

Lighting & Signage

As proposed, the site would utilize a variety of wall mounted and freestanding lighting elements. As filed, staff is supportive of the lighting plan.

Drainage

A detailed review of the site drainage has been conducted by the Town Engineer and the Street and Stormwater Department. Per the Town Engineer's letter dated May 10, 2016, items remain to be addressed by the Petitioner related to compliance with the Town's standards. Staff will look for these items to be finalized prior to the issuance of an Improvement Location Permit related to the contemplated improvements.

FINDINGS

The Plan Commission shall hear, and approve or deny, Development Plans based on Findings of the Building Commissioner or Plan Commission. Per Section 4.3.C of the Ordinance the Plan Commission finds:

1. The Development Plan is compatible with surrounding land uses because:
2. The Development Plan **does** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:
3. The Development Plan **does** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:
4. The Development Plan **does** utilize building materials and building style compatible with the Zionsville theme because:
5. The Development Plan **does** provide for the calculation of storm water runoff because:
6. The Development Plan **does** provide for current and future right-of-way dedications because:

7. The Development Plan **does** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

The petitioner has prepared findings which are a part of the packet for Plan Commission review.

STAFF RECOMMENDATIONS

Staff recommends approval of the petition as filed subject to finalization of development plan (inclusive of drainage and other components) prior to the issuance of an Improvement Location Permit (recommendation may be updated at the meeting based on evolution of the development plan review).

RECOMMENDED MOTIONS

I move that Docket # 2016-25-DP Development Plan Approval to provide for an approximate 18,000 sf office building, in the Creekside Corporate Park PUD Zoning District at 5400 W. 106th Street-Lot 6 Creekside Corporate Park be (Approved based the findings in the staff report, staff recommendation, and submitted findings of fact / Denied/ Continued) as presented.

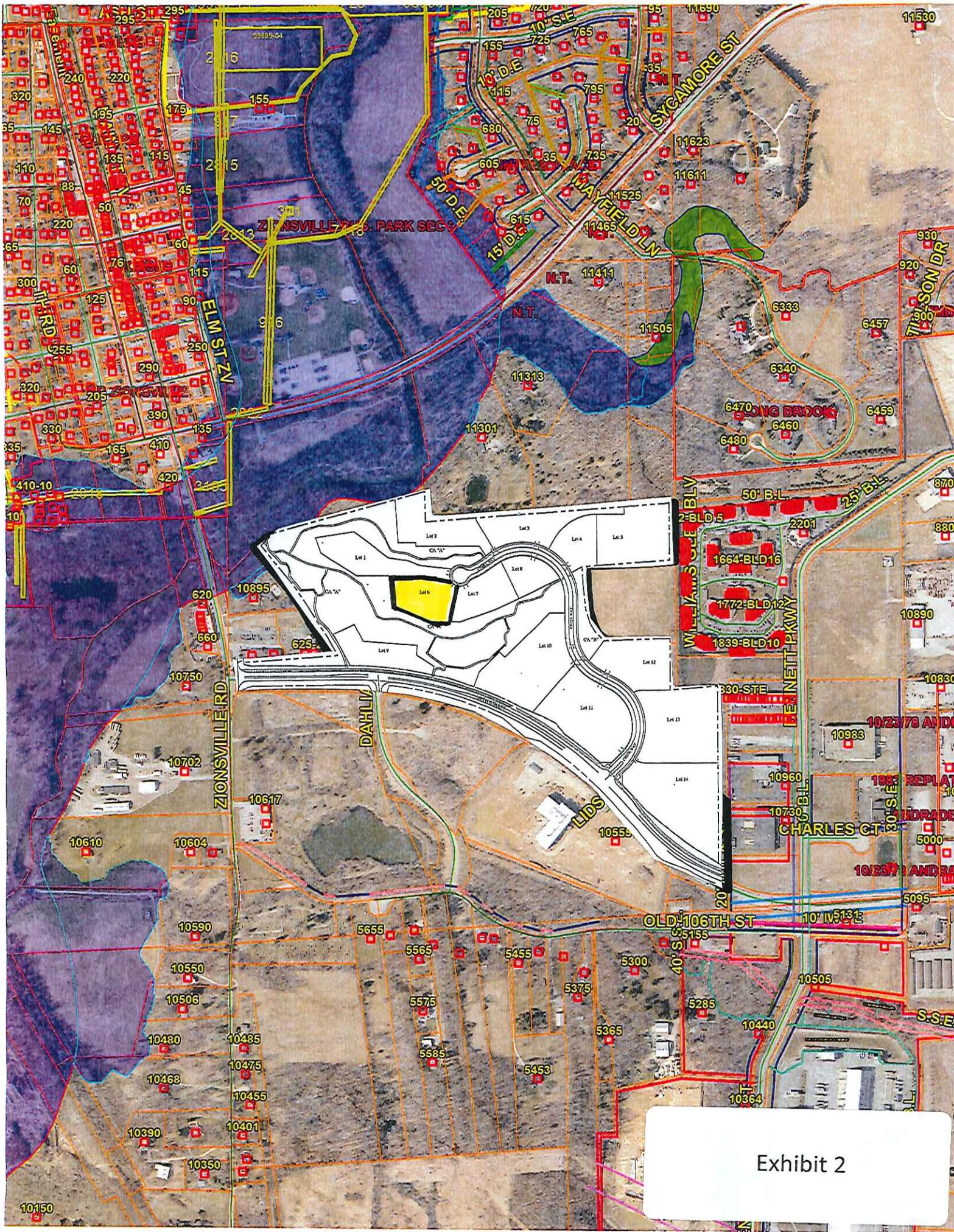


Exhibit 2



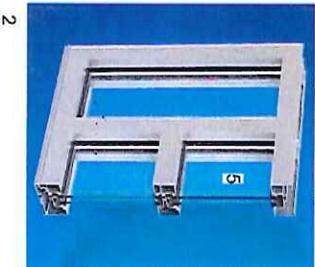
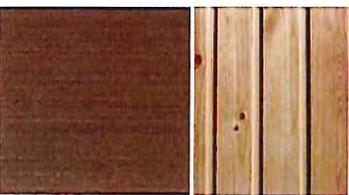
BASIS OF DESIGN PRIMARY EXTERIOR MATERIALS/COLORS

1. STAINED CEDAR SIDING, HORIZONTAL SHIPLAP
2. ALUMINUM STOREFRONT WINDOWS AND DOORS
3. INDIANA LIMESTONE VENEER, BUFF
4. JAMES HARDIE CEMENT FIBER BOARD PANEL SIDING AND METAL TRIM REVEAL, PAINTED TO MATCH ALUMINUM STOREFRONT COLOR.
5. LOWE CLEAR GLASS
6. 3 TAB ASPHALT SHINGLE, CERTAINTED DRIFTWOOD
7. TPO ROOF MEMBRANE
8. LIVE ROOF GREEN SYSTEM
9. GALVANIZED STEEL GUTTERS AND DOWNSPOUTS
10. EXPOSED RUBBED CONCRETE FOUNDATION WALL
11. BIKE RACK - MANUFACTURER MRC
12. SITE PARKING LOT LIGHT - AAL M1P 20' HIGH POLE, AAL MITRE
13. PATIO LIGHT: AAL MITRE M4T BOLLARD
14. BUILDING WALL SCOSCE: AAL MITRE M3

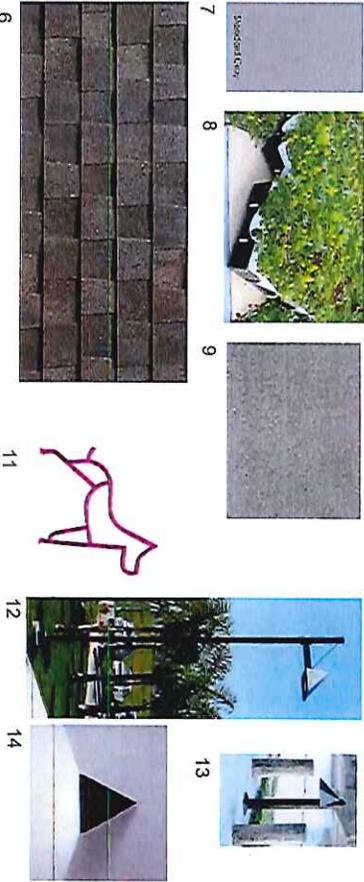
COLOR FOR STOREFRONT AND PAINTED SIDING



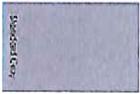
Night Hawk Gray*



2



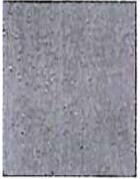
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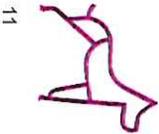
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9



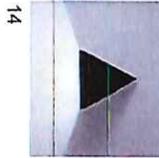
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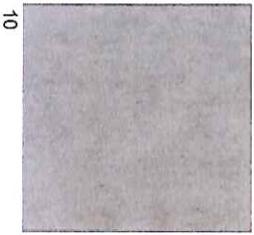
11



12



14



10



4



73/8"



5"



2 1/4"

3

PRELIMINARY - NOT FOR CONSTRUCTION
DAVID RAUSCH STUDIO
 Architects & Engineers

ISSUE DATE: 04/13/15

DATE: 04/13/15

SHEET TITLE: EXTERIOR MATERIALS

A-5

Structural Engineer: James E. Engle, Inc., 100 Parkway, N. #1017, 307.293.5182

Mechanical, Electrical, Plumbing Engineer: Simpson Engineering, 13144 Beechley Pkwy, Clarksville, TN 37041, 307.273.5555

PROJECT SET: 04/09/15

DESIGN/CONTRACT PLAN SET: 04/13/15

OWNER: ZIONS BANK

PROJECT: 110 N. 4th Street, Zionsville, Indiana 46177

Architect: DAVID RAUSCH STUDIO, LLC, 77 E. Oak Street, Zionsville, Indiana 46177, 307.273.4152

Chief Engineer: BILLY RYAN ENGINEERING, 118 N. 4th Street, Zionsville, Indiana 46177, 307.273.4234

Landscaping Architect: Coastal Design, 118 S. Main Street, Suite 200, Zionsville, Indiana 46177, 307.273.5209

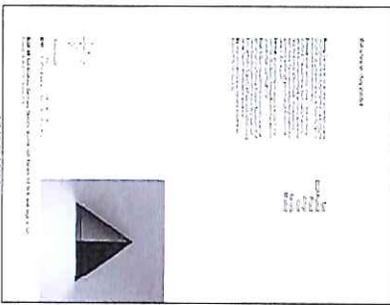
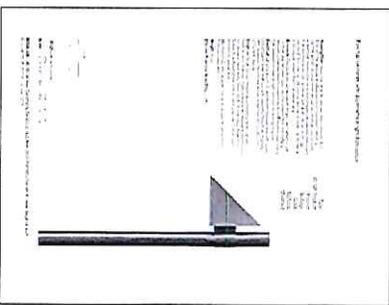
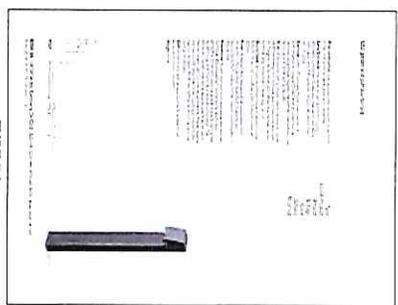


Lump Sum Schedule

Serial	Qty	Label	Unit	Description	Unit Price
1	4	SL2	0.40	ESCA 18 104	113
2	2	B1	120	ESCA 77 217	5
3	3	WMA	420	ESCA 22 441	24

Calculation Summary

Label	Description	Unit	Qty	Unit Price	Total
SL2	ESCA 18 104	0.40	4	113	452
B1	ESCA 77 217	120	2	5	10
WMA	ESCA 22 441	420	3	24	72



GENERAL NOTES
 • SEE SPECIFICATIONS
 • SEE DRAWINGS

LIGHT SOURCE

Project Name: [Blank]
 DK PIERCE

Client	KLS	Zone	E101
Date	5/2/2018	Drawing #	18-14-100-SITE
Scale	1/8"=1'-0"	Sheet	18-14-100-SITE



ZIONSVILLE

FOR ALL THE RIGHT REASONS

To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: May 10, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	D.K. Pierce and Associates	
	Location	Creekside Park Lot 6	
	Developer	DMP Property	
	Submittal	#2	
Documents Reviewed	Document Name	Document Date	
	Construction Plans	May 6, 2016 (Matches prior submittal)	
Zoning	Current	PUD	
	Proposed	PUD	
Land Use	Current	Fallow	
	Proposed	Business	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town's standards or requirements:

I. CONSTRUCTION PLANS

- A. Provide details of the wall signs, including dimensions.
- B. Provide a street address for the property.
- C. Confirm that connection of ST-10 and ST-11 to the foundation drain meets building code.
- D. Discharges from the roof leaders, the front window well, and the inlet on the west side of the building are not provided with treatment by two BMPs. This can be corrected by providing a forebay where these flows are discharged into the detention basin.

- E. The PaveDrain system detail indicated Sch 40 or SDR-35 PVC underdrains. The plans call for perforated HDPE. Corrugated HDPE drain pipe should be smooth interior double wall type. Provide a letter from PaveDrain on its letterhead that the proposed pipe is acceptable in their system or provide sealed vehicle loading calculations indicating the proposed pipe can withstand the vehicle loads.
- F. Indicate the type of storm sewer pipe between ST-1 and ST-2. Is this pipe to be perforated?
- G. Provide information about the drainage at the area's internal walkway where the storm discharges will flow. If a culvert is located at this point, provide the size and capacity. If the storm flow is overland at this point, provide a profile of the walkway indicating the width and depth of the flow over the walkway.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

DK Pierce & Associates, Lot 6, Creek Way, Zionsville, Indiana 46077

1. The Development Plan/Modification of Development Plan (is) compatible with surrounding land uses because:
 - a. The project involves the development of Lot 6 of the Creekside PUD set forth by the Town of Zionsville into a corporate headquarters office building and adjacent parking lot. Requirements of the PUD are met.

2. The Development Plan/Modification of Development Plan (does) demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:
 - a. Each item is designed and indicated in the project plans, which have been coordinated with the utility companies to determine the availability and capacity.

3. The Development Plan/Modification of Development Plan (does) demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:
 - a. The design is consistent with common engineering practice for the area and uses the Town of Zionsville design requirements and Creekside PUD requirements.

4. The Development Plan/ Modification of Development Plan (does) utilize building materials and building style compatible with the Zionsville theme because:
 - a. The project use is an office building located on a site surrounded by wooded areas that remain natural and largely undevelopable areas, including a dedicated natural conservation area.
 - b. The project employs several sustainable principals, including stormwater capture techniques that require specific geometries.
 - c. Utilities: The building shall connect to adjacent utilities including water, sanitary drainage, electricity, and gas once those are installed.
 - d. The materials, massing and overall architectural character will be compatible with the Creekside PUD requirements. See attached drawings for more information.

5. The Development Plan/Modification of Development Plan (does) provide for the calculation of storm water runoff because:
 - a. The storm infrastructure is shown in the plan & drainage report and the proposed discharge is less than the allowable release rate.

6. The Development Plan/Modification of Development Plan (does) provide for current and future right-of-way dedications because:
 - a. It complies with setback requirements and there are no plans for right-of-way dedications at the development site.

7. The Development Plan/Modification of Development Plan (~~does~~ does not) provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

a. Design features are indicated on the proposed plans.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 20____.



Petition Number: 2016-26-DPA

Subject Site Address: 4900 W. 106th Street

Petitioner: Five J. LLC

Representative: James Hall/JD Hall Land Surveying

Request: Petition for Development Plan Amendment approval requesting Architectural and Building Materials waivers to allow for additions to an existing commercial structure located in the (I2) Urban General Industrial District

Current Zoning: (I2) Urban General Industrial District

Current Land Use: Commercial

Approximate Acreage: 3.10 Acres

Related Petitions: 2001-24-DP Petition for Development Plan Approval for the construction of an auto repair and auto parts sales facility

Exhibits:
Exhibit 1 – Staff Report
Exhibit 2 – Aerial Location Map
Exhibit 3 – Conceptual Elevations
Exhibit 4 – Conceptual Site and Development Plan
Exhibit 5 – Engineering Response letter (dated May 9, 2016)
Exhibit 6 – Findings of Fact (Waivers-Design)
Exhibit 7 – Findings of Fact (Waivers-Materials)
Exhibit 8- Findings of Fact (Development Plan)

Staff Reviewer: Wayne DeLong, AICP

PETITION HISTORY

This petition will receive a public hearing at the May 16, 2016 Plan Commission meeting.

PROPERTY HISTORY

The property has been utilized for Car and Truck Care Center since 2001 and received its initial Development Plan approval in 2001.

ANALYSIS

As proposed, the 3.10 acre site would be improved with 15,600 square feet of associated with the existing operation. Details related to the proposed site improvements are illustrated in both Exhibit 3 and Exhibit 4.

DEVELOPMENT PLAN REVIEW

Zoning Ordinance

The development plan has been reviewed using the standards of the Zionsville Zoning Ordinance (Ordinance) and found to be in compliance. A Technical Advisory Committee (TAC) meeting was conducted on April 25, 2016 and Town staff comments were provided to the Petitioner. The Petitioner provided revised plans and updated information on April 29, 2016 and the Town Engineer provided review comments related to the revised / updated information on May 9, 2016 (file dated see Exhibit 6) indicating there are no outstanding Development Plan comments (with the exception of the Drainage Plan. As of the writing of this report, the Petitioner continues to refine information related to the Drainage Plan (See Stormwater/Drainage portion of this report for additional details).

Architecture

The proposed improvements utilize materials which are currently found on site and in the surrounding area (conceptual elevations attached to this report), and are supportable with the granting of waivers from architectural requirements. As filed, staff is supportive of the proposed architecture and material palate (with the granting of the requested waivers).

Waiver – Building Materials & Building Design

The Plan Commission may grant waivers of the Building Materials Development Requirements and the Building Design Requirements of the Zoning Ordinance and approve the 1) use of alternate exterior Building materials on any facade of a Building that is visible from a Street and 2) which does not incorporate the salient features of the Zionsville Theme.

Building Design (Exhibit 6)

i). the Building materials utilized represent an innovative use of said materials which enhance the overall aesthetic exterior character of the Building and will not be detrimental to the use or value of area properties.

- ii). the Building materials utilized are appropriate when compared to the Building materials utilized on other Buildings on the site and surrounding sites
- iii). the Building materials utilized are consistent with and compatible with other Building materials utilized on, and with the overall exterior character of, other Buildings and development located along the Street; and
- iv). the Building materials utilized are consistent with the intent and purpose of this Ordinance.

Proposed Findings of Fact are attached for the Plan Commission's consideration.

Staff is in agreement with the Petitioner's proposed findings.

Building Materials (Exhibit 7)

- i). the Building materials utilized represent an innovative use of said materials which enhance the overall aesthetic exterior character of the Building and will not be detrimental to the use or value of area properties.
- ii). the Building materials utilized are appropriate when compared to the Building materials utilized on other Buildings on the site and surrounding sites
- iii). the Building materials utilized are consistent with and compatible with other Building materials utilized on, and with the overall exterior character of, other Buildings and development located along the Street; and
- iv). the Building materials utilized are consistent with the intent and purpose of this Ordinance.

Proposed Findings are attached for the Plan Commission's consideration.

Staff is in agreement with the Petitioner's proposed findings.

Utility Access

Adequate access to utilities is available to facilitate the project. No issues are known at this time.

Streets & Vehicular Circulation

The development would derive access from West 106th Street via two (2) existing road cuts intended to serve a variety of vehicles. No alterations to the two (2) existing road cuts is intended or proposed.

Parking

The existing 3 acre site contains ample area to provide for adequate parking.

Landscaping

As the proposed additions are internal to the site, no modifications to landscaping are contemplated or proposed.

Lighting

As the proposed additions are internal to the site, no modifications to freestanding lighting is contemplated or proposed. Any building mounted lighting is required to adhere to Town ordinances.

Signage

As the proposed additions are internal to the site, no modifications to signage is contemplated or proposed. Any new signage is required to adhere to Town ordinances.

Stormwater / Drainage

Both the Town's Street / Storm Water Department and Town Engineer BLN have reviewed the proposed storm water drainage plan (review comments are a part of the Plan Commission's packet). As of this writing, as drainage comments remain, staff would suggest that finalization of the drainage plan occur prior to the issuance of an Improvement Location Permit (any update to this section of the report will be provided at the meeting).

FINDINGS

The Plan Commission shall hear, and approve or deny, Development Plans based on Findings of the Building Commissioner or Plan Commission. Per Section 4.3.C of the Ordinance the Plan Commission finds:

1. The Development Plan is compatible with surrounding land uses because:
2. The Development Plan **does** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:
3. The Development Plan **does** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:
4. The Development Plan **does** utilize building materials and building style compatible with the Zionsville theme because:
5. The Development Plan **does** provide for the calculation of storm water runoff because:
6. The Development Plan **does** provide for current and future right-of-way dedications because:

7. The Development Plan **does** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

The petitioner has prepared findings which are a part of the packet for Plan Commission review.

STAFF RECOMMENDATIONS

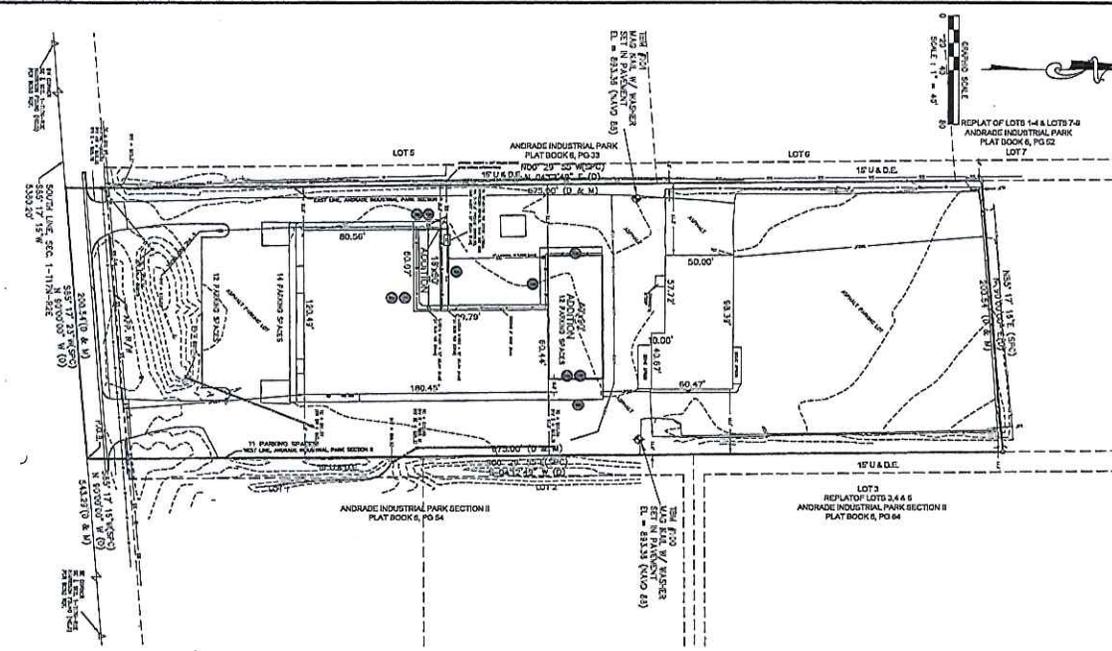
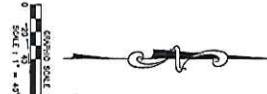
Staff recommends approval of the petition as filed, inclusive of support of the requested waivers, subject to adequate provisions to finalize the development plan (inclusive of drainage and other components) prior to the issuance of an Improvement Location Permit (recommendation may be updated at the meeting based on evolution of the development plan review related to drainage).

RECOMMENDED MOTIONS

I move that Docket # 2016-26-DPA Development Plan Amendment Approval requesting Architectural and Building Materials waivers to allow for additions to an existing commercial structure located in the (I2) Urban General Industrial District, at 4900 W. 106th Street be (Approved based the findings in the staff report, staff recommendation, and submitted findings of fact / Denied/ Continued) as presented.

PFM BUILDING ADDITION PLAN

PART OF THE SE 1/4, SECTION 1, TOWNSHIP 17 NORTH,
RANGE 2 EAST, EAGLE TOWNSHIP, BOONE COUNTY, INDIANA
PARCEL NO: 18-16170-10



BENCHMARK

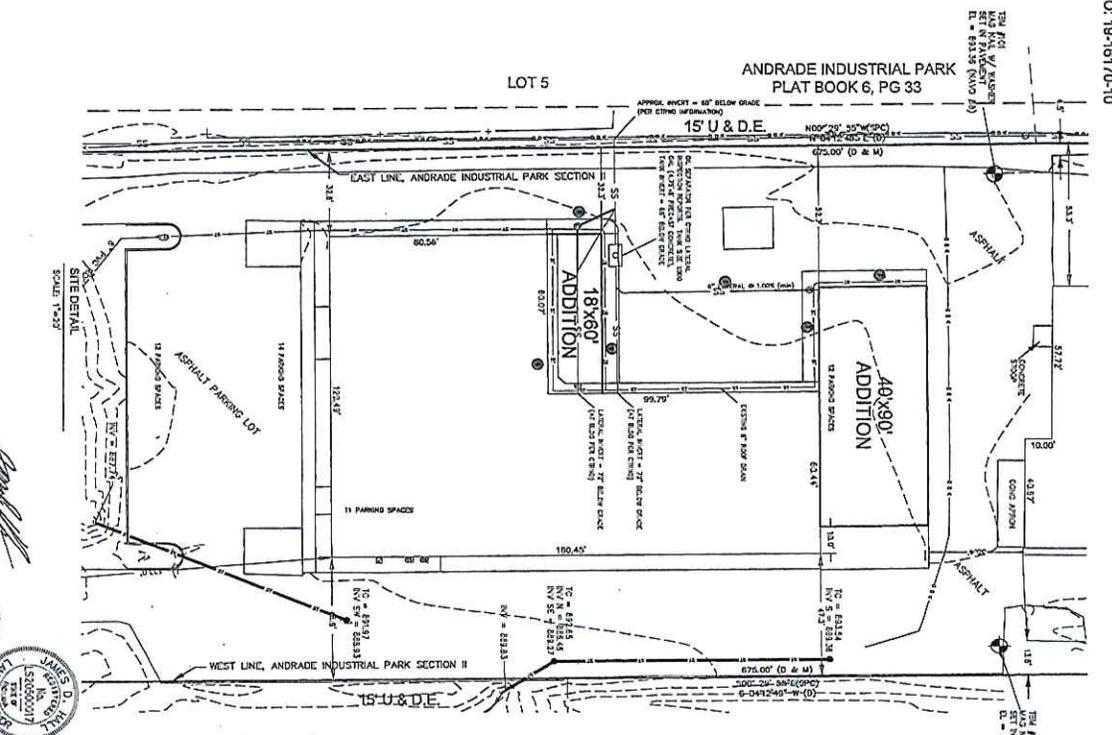
LOCATED ON THE WEST SIDE OF 8th STREET
BETWEEN HICKORY ROAD (100' WIDE) AND SHERIDAN
STREET (100' WIDE) ALONG WEST SIDE
OF 8th STREET.
(SPOT ELEVATION 1201)
N. 1730255.12
E. 1730255.12
ELEV. 971.37 (MVD 83)

LEGEND

- W.C. / DATA NOT FOUND
- SPICE / HAZARDOUS
- ROAD STOP MARK
- SWY / ROAD
- U.S. / PAID
- M / SWY

NOTES:

- 1) EXISTING UTILITIES TO BE EXTENDED AS SHOWN.
- 2) APPROVED CHANGING FLOORS TO MATCH EXISTING FLOOR ELEVATIONS.
- 3) NEW 6" CONCRETE APPROX. MATCH EXISTING GRADE ALONG OTHER LINES, EXISTING BUILDING SEE '1' BELOW.
- 4) EXISTING LANDSCAPE AREA ALONG WEST SIDE OF POINT '1' WEST OF PROPOSED BUILDING AND RECONNECT TO EXISTING ONE.
- 5) EXISTING PORTION OF EXISTING ROOF DOWN OUTSIDE PORTION OF PROPOSED ADDITION.
- 6) CONCRETE NEW 4" PG ROOF SLAB TO EXISTING SLAB AT NORTHWEST CORNER OF EXISTING BUILDING.
- 7) REMOVE NEW 1/2" CONC. LAYER, 20% NEW MAINTENANCE SLAB, CONSUMATIVE EXACT LOCATION WITH APPROXIMATE 10% OVER, REMOVE NEW ONE WITH APPROXIMATE 10% OVER, REMOVE NEW ONE WITH APPROXIMATE 10% OVER.

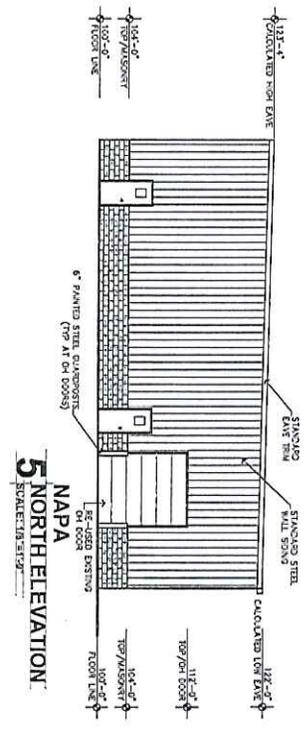


JD HALL LAND SURVEYING
OFFICE:
893 E. Ohio Street
Bridgeton, IN 46609
PL 317-286-3254
FX 317-726-6910
AR FX 317-773-7161

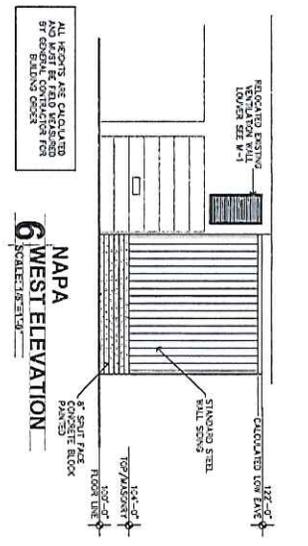
NO.	DATE	DESCRIPTION	BY
1	4/23/10	REVISE PER AGENCY COMMENTS	JDH
2	5/6/10	REVISE PER AGENCY COMMENTS	JDH

PART OF THE SE 1/4 QUARTER OF
SECTION 1, TOWNSHIP 17 NORTH,
RANGE 2 EAST
EAGLE TOWNSHIP
BOONE COUNTY, INDIANA

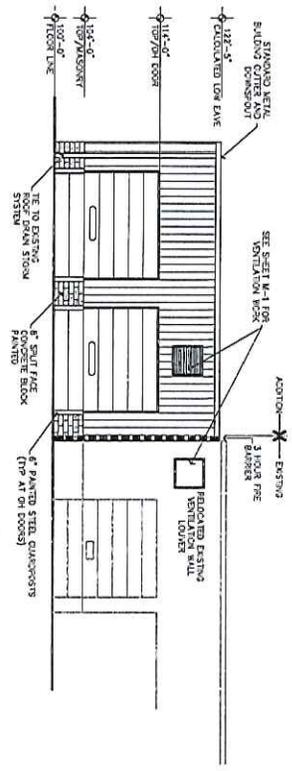
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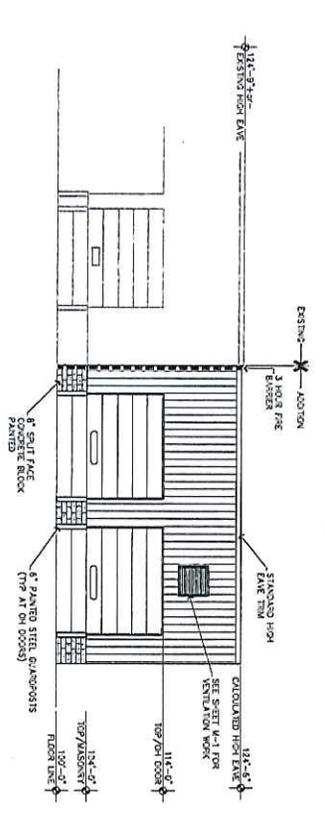
5 NORTH ELEVATION
SCALE: 1/8"=1'-0"



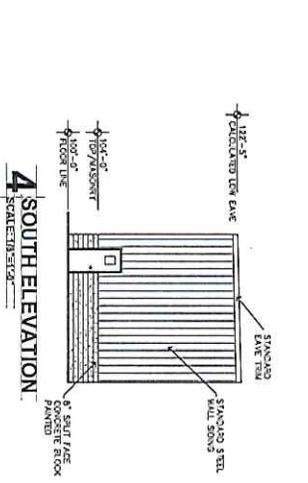
6 WEST ELEVATION
SCALE: 1/8"=1'-0"



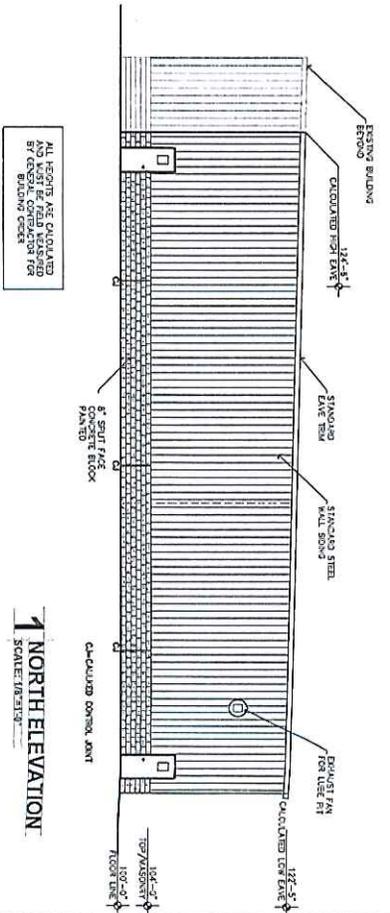
3 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

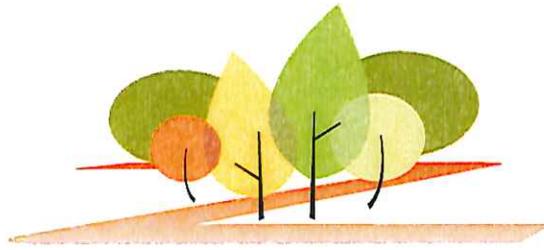


1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

ALL HEIGHTS ARE CALCULATED BY GENERAL CONTRACTOR FOR BUILDING CODES

ALL HEIGHTS ARE CALCULATED BY GENERAL CONTRACTOR FOR BUILDING CODES

	US Arch Inc. ARCHITECTS 4300 WEST 106TH ST. ZIONSVILLE, IN 46088 TEL: 317-297-1100 FAX: 317-297-1101 WWW.USARCHINC.COM	
	DESIGNER: PARTNER ARCHITECTS PARTNER ARCHITECTS	DRAWN: CHECKED: REVISIONS:
DATES: 01 PHASE START DATE: 1/22/2015 FINISH DATE: 1/22/2015 FULL DEVELOPMENT DATE: 1/22/2015 PROJECT NO: 150101 CLIENT: PFM CAR AND TRUCK CAR CO. ORIGIN: IN	SCALE: SHEET: A-2	NEW ADDITIONS FOR: PFM CAR AND TRUCK CAR 4300 WEST 106TH ST. ZIONSVILLE, IN



ZIONSVILLE

FOR ALL THE RIGHT REASONS

To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: May 9, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	Preventative Fleet maintenance (PFM) Zionsville Expansion	
	Location	4900 W. 106 th Street	
	Developer	PFM Automotive Group	
	Submittal	#1	
Documents Reviewed	Document Name	Document Date	
	Construction Plans	April 29, 2016 (Plot Date)	
	Drainage Report	April 29, 2016	
Zoning	Current	I2	
	Proposed	I2	
Land Use	Current	Industrial	
	Proposed	Industrial	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town's standards or requirements:

I. CONSTRUCTION PLANS

A. No comments.

II. DRAINAGE REPORT

A. The basin identifiers on the existing basin map and the proposed basin map printed as solid hexagons and are illegible. Use a legible symbol on the maps matching the narrative.

B. The basin identifiers in the existing results table in Appendix B do not match the narrative or the identifiers used in the modeling. Please provide consistency in these identifiers.

- C. It appears from the modeling methodology that the four drainage basins on the site collect to a central discharge point at the property line. However, the narrative indicates the basin EX4 discharges to the adjacent property and that basin EX1 flows to 106th Street, but without indication that it joins with the dry pond discharge. Please develop models independently and provide separate results for each off-site discharge location. If the discharges join prior to the off-site discharge location, please indicate this in the narrative.
- D. It appears from the development plans that an existing storm sewer with inlets and a paved swale is located on the east side of the building. These inlets appear likely to collect flows from basin EX-4 and transport them to the pond in front. The model indicates that these flows run to an East link. Please explain in the narrative how this storm sewer does not collect flows from EX-4 and how flows from EX-4 rejoin with the site stormwater runoff before exiting the site or correct the narrative and the modeling to reflect actual conditions.
- E. The narrative indicates that the NRCS Type II rainfall distribution was used for the analyses. However, it appears the peak hourly rainfall rate was used as the 24-hour precipitation rate throughout all analyses. The peak hourly rainfall rate is provided for pipe and swale capacity calculations, but is not applicable for detention facility design and other volume-based calculations. The NRCS rainfall distribution varies throughout the 24-hour period, peaking in intensity near the 12-hour mark. Using the peak hourly rate for 24 hours overstates the runoff volumes, pond elevations, off-site discharge volumes, and overall impacts of the development. Please explain how the modeling incorporated the Type II rainfall distribution through the 24-hour period or revise the rainfall input in the model(s).

WAIVER OF DEVELOPMENT REQUIREMENTS

Building Design Findings

1. The Building design represents an innovative use of Building materials and design, or site design features which will not be detrimental to the use or value of area properties because:

The uses adjacent to the site are all industrial in nature. The proposed building addition materials include split face block and metal siding consistent with the existing and surrounding buildings. The proposed additions are at the rear of the existing building.

2. The proposed Building is appropriate when compared to the architecture, design and overall exterior character of other Buildings of the site and surrounding sites because:

The use of split face block and metal siding and the overall exterior character of the building additions are compatible with other industrial buildings in the surrounding area.

3. The Building design is consistent with and compatible with other development located along the Street because:

Other developments located along the same street in which the site is located are industrial in nature. The design of the proposed additions are consistent with and compatible with other industrial development along the same street.

4. The proposed Building is consistent with the intent and purpose of this Ordinance because:

The proposed building additions do not alter or adversely affect the existing building as previously approved in the I2 district.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 2016.

WAIVER OF DEVELOPMENT REQUIREMENTS

Building Materials Findings

1. The Building materials utilized represents an innovative use of said materials which enhance the overall aesthetic exterior character of the Building and will not be detrimental to the use or value of area properties because:

The uses adjacent to the site are all industrial in nature. The proposed building addition materials include split face block and metal siding consistent with the existing building. The proposed additions are at the rear of the existing building.

2. The building materials utilized are appropriate when compared to the Building materials utilized on other Buildings on the site and surrounding sites because:

The use of split face block and metal siding and the overall exterior character of the building additions are compatible with other industrial buildings in the surrounding area.

3. The Building materials are consistent with and compatible with other Building materials utilized on, and with the overall exterior character of, other Buildings and development located along the Street because:

Other developments located along the same street in which the site is located are industrial in nature. The materials proposed are the same or similar to those already existing on the current building and is compatible with the materials utilized by the other industrial development along the same street.

4. The Building materials utilized are consistent with the intent and purpose of this Ordinance because:

The proposed building materials will be consistent those previously approved for this existing and surrounding building.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 2016.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

1. The Development Plan/Modification of Development Plan (is) ~~is not~~ compatible with surrounding land uses because:

The site and all adjacent areas are all in the I-2 district.

2. The Development Plan/Modification of Development Plan (does) ~~does not~~ demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:

Utilities are existing on the site.

3. The Development Plan/Modification of Development Plan (does) ~~does not~~ demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:

Existing traffic patterns are not affected by this proposal.

4. The Development Plan/ Modification of Development Plan (does) ~~does not~~ utilize building materials and building style compatible with the Zionsville theme because:

The proposed building materials will match those previously approved for this existing building.

5. The Development Plan/Modification of Development Plan (does) ~~does not~~ provide for the calculation of storm water runoff because:

The existing dry basin and runoff analysis are included with this proposed building addition project.

6. The Development Plan/Modification of Development Plan (does) ~~does not~~ provide for current and future right-of-way dedications because:

All existing rights of way are shown on the plans. No changes are proposed.

7. The Development Plan/Modification of Development Plan (does) ~~does not~~ provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

Except for requested waivers of the development standards, the proposed site plan conforms to the Development Standards of the I-2 district.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 2016.



Petition Number: 2016-27-DP

Subject Site Address: 6355 S. 950 East

Petitioner: Courtyards of Zionsville-Larry D. Neer

Representative: Matt Price

Request: Petition for Development Plan approval to allow for the construction of 60 single family dwellings and a clubhouse in the (R-4) Rural Residential Zoning District

Current Zoning: (R-4) Rural High Density Single and Two-Family Residential Zoning District

Current Land Use: Residential/Private Horse Stable/Vacant Land

Approximate Acreage: 18.91 acres

Zoning History: Plan Commission Docket # 2016-12-PP (approved, with conditions)
Board of Zoning Appeals Petition # 2015-43-DSV (approved)

Exhibits: Exhibit 1 – Staff Report
Exhibit 2 – Aerial Location Map
Exhibit 3 – Development Plan
Exhibit 4 – Lighting Plan
Exhibit 5 – Landscaping Plan
Exhibit 6 – Conceptual Front Entry and Conceptual Elevations
Exhibit 7 – Town Engineers Comment Letter (dated May 9, 2016)
Exhibit 8– Findings of Fact

Staff Reviewer: Wayne DeLong, AICP

PETITION HISTORY

This petition will receive a public hearing at the May 16, 2016 Plan Commission meeting.

PROPERTY HISTORY

The overall subject site is comprised of four (4) parcels located in the (R4) Rural High Density Single and Two-Family Residential Zoning District. On February 9, 2016 the Boards of Zoning Appeals approved Docket #2015-43-DSV which provides for a minimum 20 foot front yard setback, measured from the edge of the right-of-way in the R4 rural residential zoning district. On April 18, 2016, the Plan Commission approved Docket 2016-12-PP with conditions, inclusive of waiver requests (reduction of the minimum horizontal curve of the street and the reduction of the minimum tangent length of the street).

ANALYSIS

As proposed, the 18.91 acre site would be improved with 60 single-family dwellings all deriving access from an internal roadway system. The property is located within the Town's Rural service district and would be served by the County Highway Department until such time as the site is transitioned into the Town's Urban service district.

DEVELOPMENT PLAN REVIEW

Zoning Ordinance

The development plan has been reviewed using the standards of the Zionsville Zoning Ordinance (Ordinance) and found to be in compliance. A Technical Advisory Committee (TAC) meeting was conducted on and Town staff comments were provided to the Petitioner. Since that time, an additional round of reviews has occurred (as further outlined in this report).

Architecture

As proposed, the single-family dwellings are contemplated to include pitched roofs with overhangs, dimensional shingles, divided light windows, dormers, as well as a variety of other features (see Exhibit 5 for additional information). The proposed features are complementary to the overall area, and to the community as a whole.

Building Materials

As proposed, the single-family dwellings are contemplated to utilize a material palette including cement fibrous siding, asphalt shingles, and masonry products. The proposed materials are complementary to the overall area, and to the community as a whole.

Utility Access & Wastewater System Design

Staff is unaware of any concerns regarding capacity of sanitary sewer utility or the potable water utility which would impact service to the area. Specific to the submitted design, the Town Engineer's letter dated May 9, 2016 identifies items that are inconsistent with the Town's

Standards or requirements, and requires that the Utility Plan be updated to include revised information.

Streets & Vehicular Circulation

The proposed development is intended to gain access from County Road 950 via proposed internal public street system. The proposed methods for primary and emergency ingress to, from, and within the Subdivision are found to be in compliance with the Town's Subdivision Control Ordinance (except where as noted in this report).

Parking

The proposed site development complies with ordinance standards as each home site would be improved with an area for off-street parking as well as a garage. Additional off street parking would be provided as a part of the club house improvements.

Landscaping

As proposed, the overall site would be improved with street trees with each home site being improved with an individual landscape package.

Lighting & Signage

As proposed, the site would utilize parking lot lighting and coach lighting. As filed, staff is supportive of the lighting plan as the proposed parking lot lights are not in excess of 4000K in temperature (based on adoption of Ordinance 2016-04). Specific to signage, the development contemplates utilizing ground signage to identify the site. Use of ground signage is supported by the Town's ordinances.

Drainage/Stormwater Management

The petitioner has provided a detailed drainage study which has been reviewed by Town staff the Town Engineer. The attached Town Engineer letter (dated May 9, 2016) identifies items that are inconsistent with the Town's Standards or requirements, and requires that the drainage plan be updated to include revised information.

FINDINGS

The Plan Commission shall hear, and approve or deny, Development Plans based on Findings of the Building Commissioner or Plan Commission. Per Section 4.3.C of the Ordinance the Plan Commission finds:

1. The Development Plan is compatible with surrounding land uses because:
2. The Development Plan **does** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:
3. The Development Plan **does** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:

4. The Development Plan **does** utilize building materials and building style compatible with the Zionsville theme because:
5. The Development Plan **does** provide for the calculation of storm water runoff because:
6. The Development Plan **does** provide for current and future right-of-way dedications because:
7. The Development Plan **does** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

The petitioner has prepared findings which are a part of the packet for Plan Commission review.

STAFF RECOMMENDATIONS

Staff recommends approval of the petition as filed subject to finalization of development plan (inclusive of drainage and other components) prior to the issuance of an Improvement Location Permit (recommendation may be updated at the meeting based on further evolution of the development plan review).

RECOMMENDED MOTIONS

I move that Docket # 2016-27-DP Development Plan Approval to allow for the construction of 61 single family dwellings and a clubhouse in the (R-4) Rural Residential Zoning District at 6355 S. 950 East be (Approved based the findings in the staff report, staff recommendation, and submitted findings of fact / Denied/ Continued) as presented.

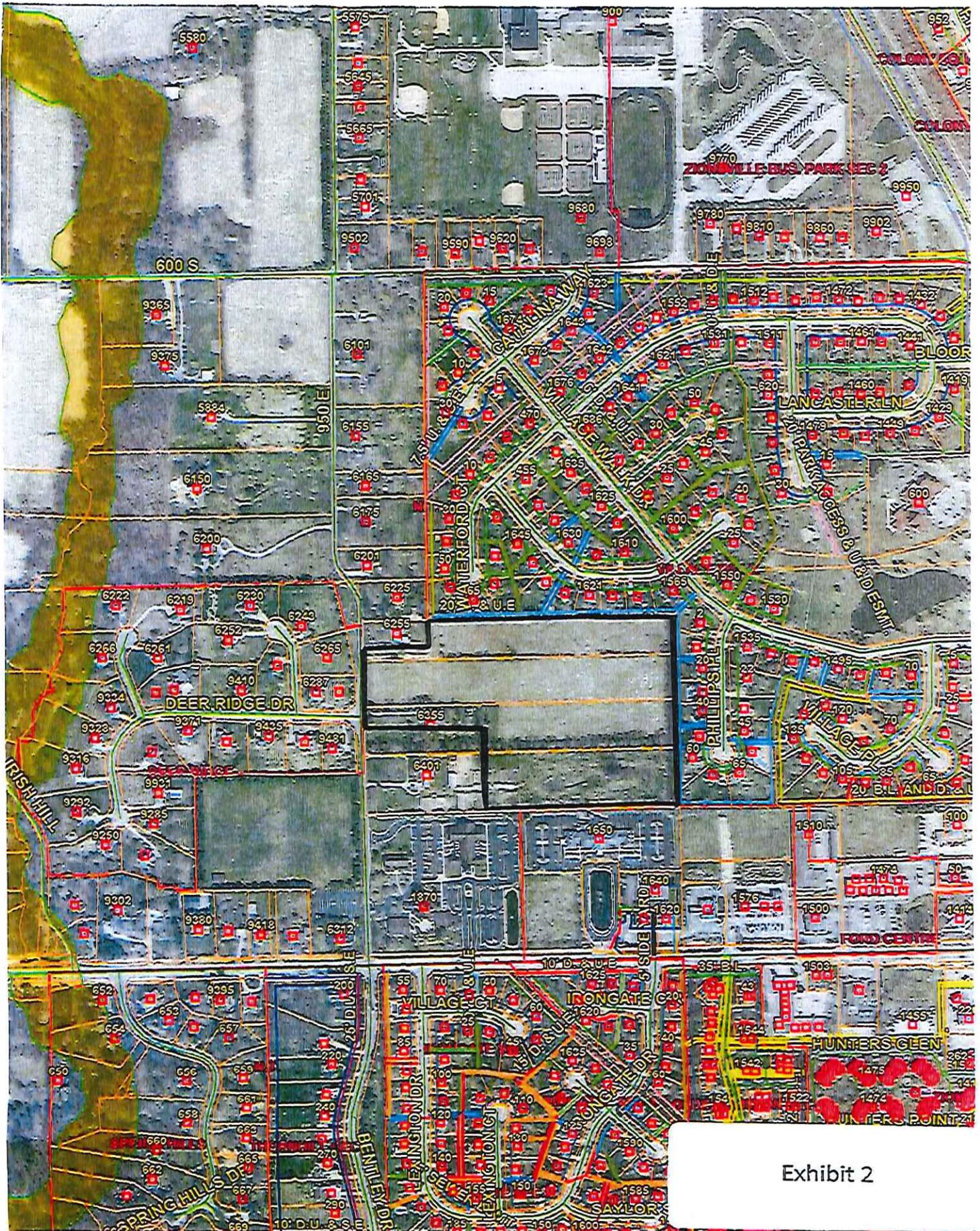
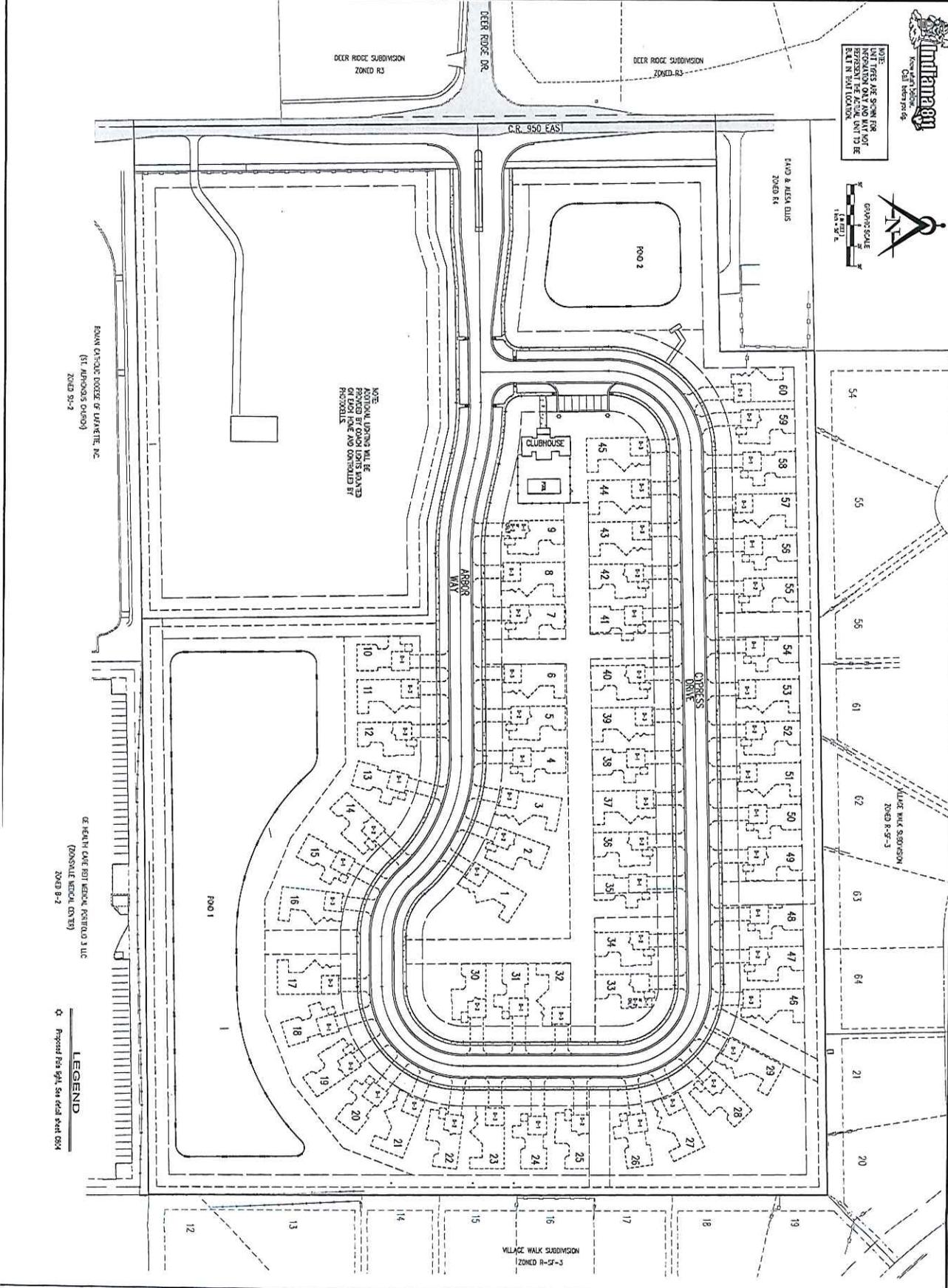
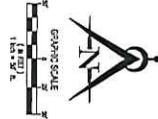


Exhibit 2



NOTE:
 UNIT TIES ARE SHOWN FOR
 ALL TIES AND ARE NOT
 REPRESENTED BY A LINE UNIT TO BE
 EXISTING THAT LOCATION



NOTE:
 ADDITIONAL LIGHTING WILL BE
 PROVIDED FOR THE REMAINING
 PORTIONS OF LOT 10 AND CONTROLLED BY
 PERMITS

FOUNTAIN CREEK DOCKS OF UVAVENTURE, INC.
 (ST. JOHNS CREEK)
 ZONED R-2

GE HEALTH CARE EAST MEDICAL CENTER, LLC
 (CONSULTING MEDICAL CENTER)
 ZONED R-2

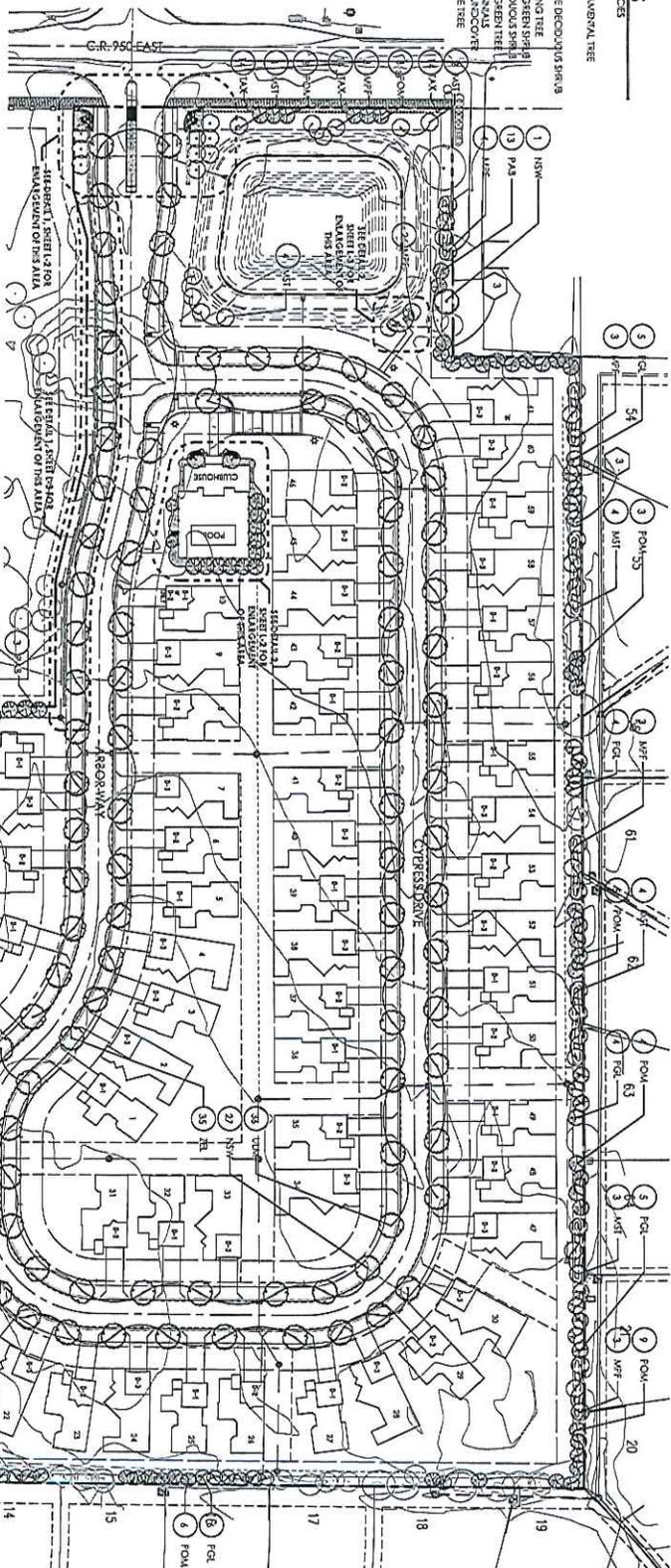
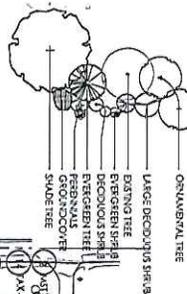
LEGEND

Proposed Footprint, See Detail Sheet 004

DATE: 5/10/16 DRAWN BY: M CHECKED BY: M SCALE: AS SHOWN SHEET: 16104 TOTAL SHEETS: 1	PRELIMINARY PENDING AGENCY APPROVAL	COURTYARDS OF ZIONSVILLE Zionsville, Indiana Lighting Plan	PREPARED FOR: Courtyards of Zionsville, LLC 124 Bridgeway Lane Mooresville, IN 46158	REVISIONS: 1. 5/10/16, From 001, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 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			C107	

Exhibit 4

PLANT KEY TYPICALS
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



PLANT LIST
CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN

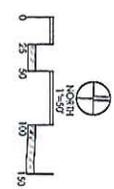
HTS	KEY	EDUCATIONAL NAME	COMMON NAME	SIZE	COND.	EVANS
28	NSW	NORWAY SPRUCE	WILDEREUCOGM	7' COL.	815	
29	MT	MAJUS ROBINSONIA	PRUNUS SP.	1 1/2' COL.	815	
30	PAB	PEACH BLOSSOM	SCONITUS C23	1 1/2' COL.	815	
31	FOL	FOLIAGE PLANT	NORWAY SPRUCE	5'-8' HGT.	815	
32	FOL	FOLIAGE PLANT	WHITE SPICE	5'-8' HGT.	815	
33	FOL	FOLIAGE PLANT	SEBASTIAN SPICE	5'-8' HGT.	815	
34	UM	ULMUS PARVIFOLIA	CORNER ELM	7' COL.	815	
35	RE	RENOVA SPERANZA VILAGE GREEN	VILAGE GREEN/RENOVA	7' COL.	815	
36	RE	RENOVA SPERANZA VILAGE GREEN	RENOVA SPERANZA	6' HGT.	815	
37	AC	AMERICAN CYPRESS	AMERICAN CYPRESS	1 1/2' COL.	815	
38	WAE	MAJUS ROBINSONIA	LIVANSE FLOWERING C24	1 1/2' COL.	815	
39	WAE	MAJUS ROBINSONIA	NORWAY SPRUCE	24' HGT.	815	
40	WAE	MAJUS ROBINSONIA	NORWAY SPRUCE	24' HGT.	815	

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL BE SET OR EXCEED STANDARD SET IN THE U.S.A. STANDARDS FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEES SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEES SHALL HAVE A MINIMUM 3" DEEP SPREEDER HANDWOOD BACK MICHON. MICHON BEES TO A MINIMUM OF 12".
5. ALL PLANTING BEES TO BE FILLED TO A MINIMUM DEPTH OF 12" FORTAL.
6. ALL PLANTING BEES TO BE REFERENCED WITH 10-10-10 OR APPROVED FORTAL.
7. SOONING / FEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE DRAINAGE UNDERGROUND UTILITIES ARE INDICATED BY DASHED LINES. CONTRACTOR SHALL VERIFY THE EXISTING LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION WORK AND ACCESS TO BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXISTING LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, REPAIR AND REPAIR SOONING.
9. ALL EXISTING PLANT MATERIAL SHALL BE REMOVED PRIOR TO THE CONSTRUCTION UNLESS OTHERWISE INDICATED.
10. ALL EXISTING PLANT MATERIAL SHALL BE REMOVED PRIOR TO THE CONSTRUCTION UNLESS OTHERWISE INDICATED.
11. BEES TO BE SET IN 10-10-10 AND 10-10-10 FOR TYPICAL PLANTINGS.
12. SOON SHALL BE PLACED ON FRONT AND BACK OF BEES.

CONSTRUCTION NOTES:

1. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL 100' WIDE.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL 100' WIDE.
3. TREES IN REMOVED SCREENING SHALL BE REPLACED AS NEAR TO ORIGINAL LOCATIONS AS POSSIBLE.



Faris Planning & Design
LAND PLANNING & LANDSCAPE ARCHITECTURE
243 N. 5th Street, Suite 401, Columbus, OH 43218
P (614) 482-1964 | www.farisplanninganddesign.com

THE COURTYARDS OF ZIONSVILLE
NEER DEVELOPMENT
6355 S. 950 E. ZIONSVILLE, IN 46077

OVERALL LANDSCAPE F

DATE	4/12/16
PROJECT	15105
SHEET	L-1

Front Entry



Palazzo

Elevation A - Base

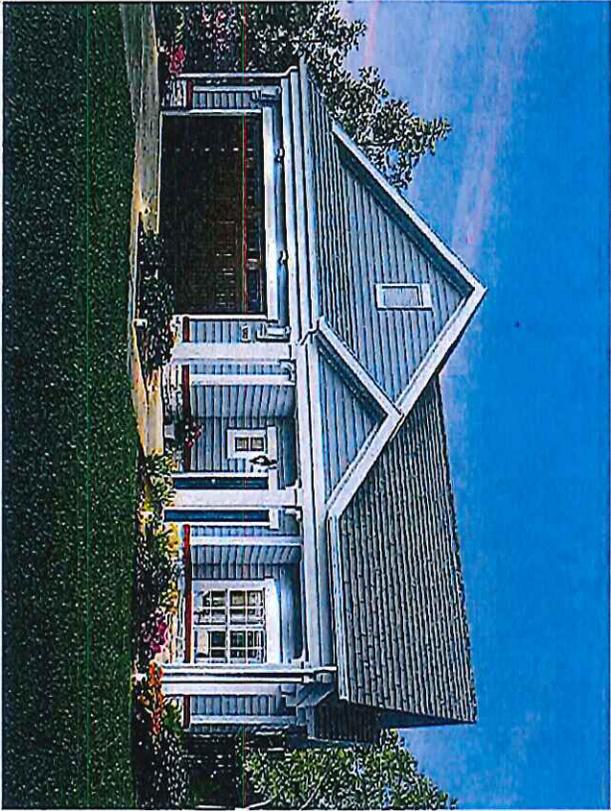


Elevation A – Bonus Suite

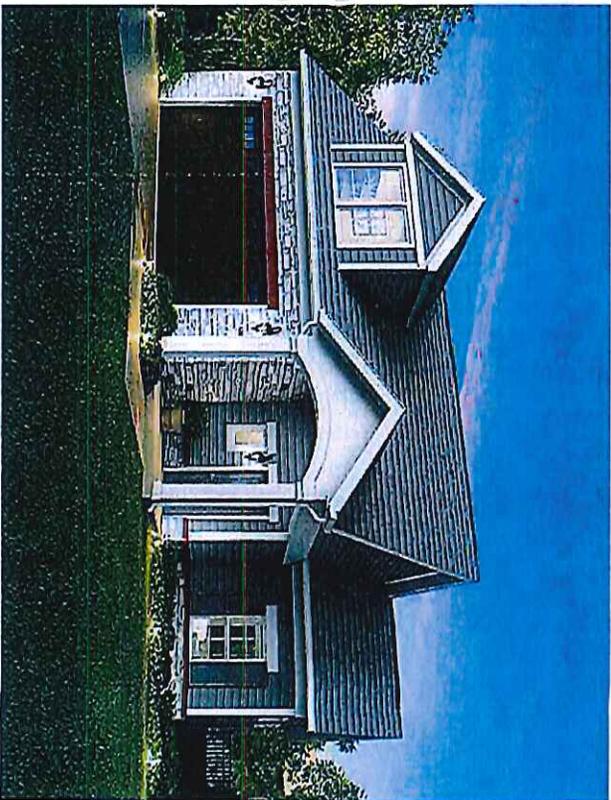


Palazzo

Elevation B - Base

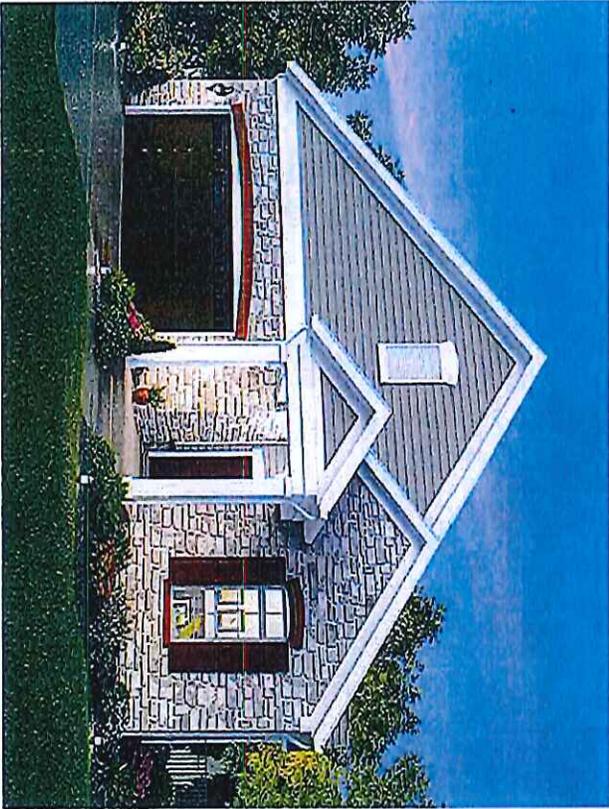


Elevation B – Bonus Suite

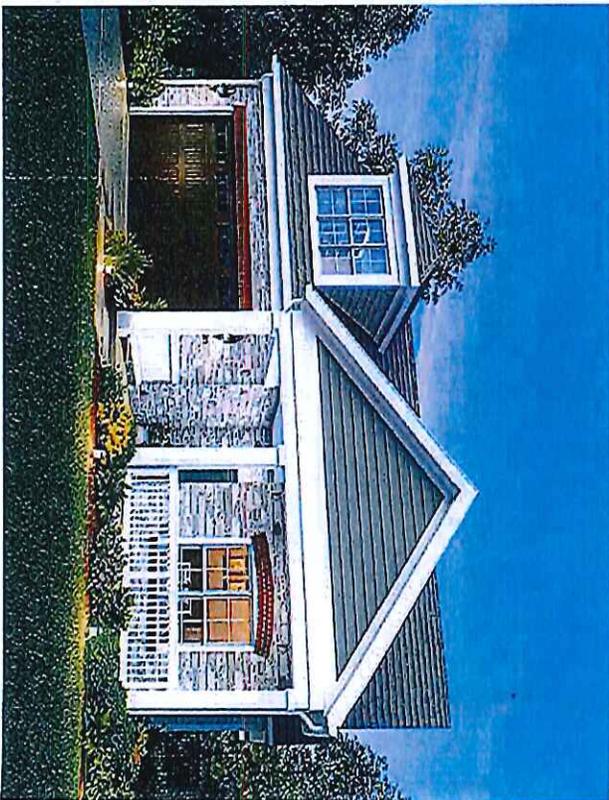


Portico

Elevation A - Base



Elevation A – Bonus Suite

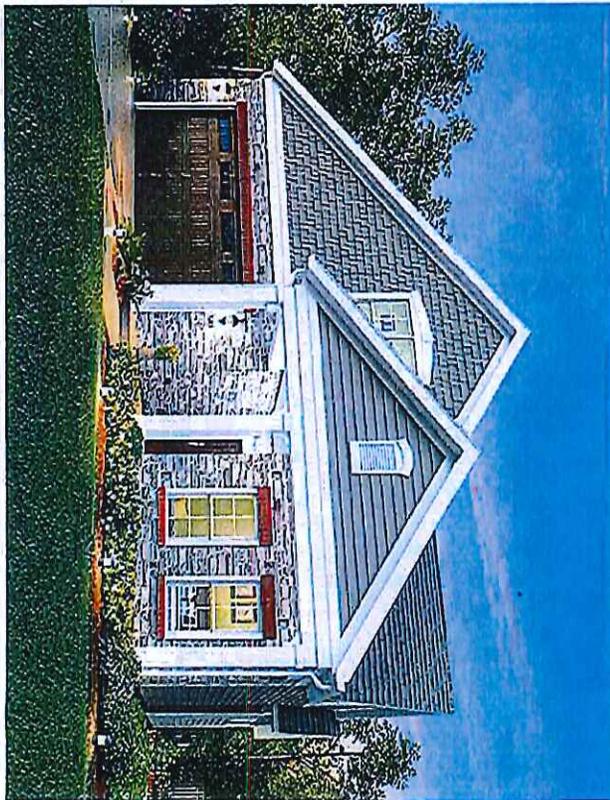


Portico

Elevation B - Base

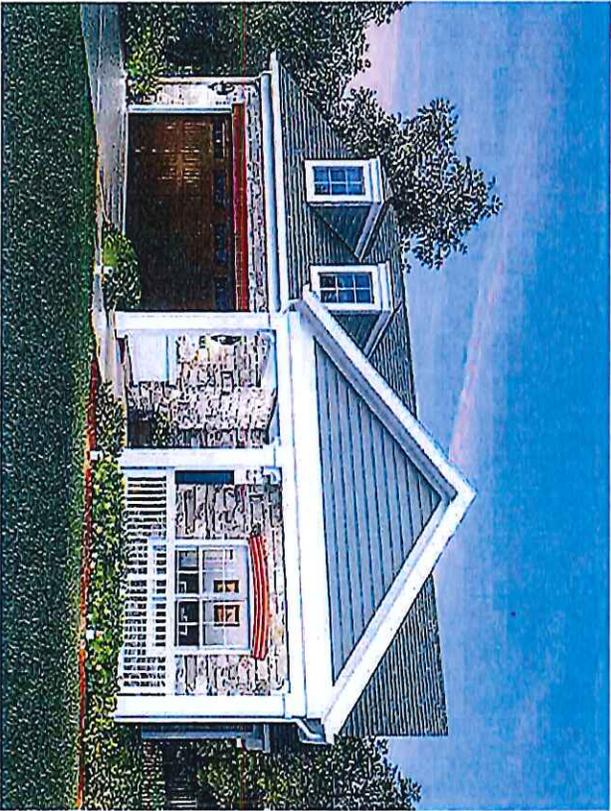


Elevation B – Bonus Suite



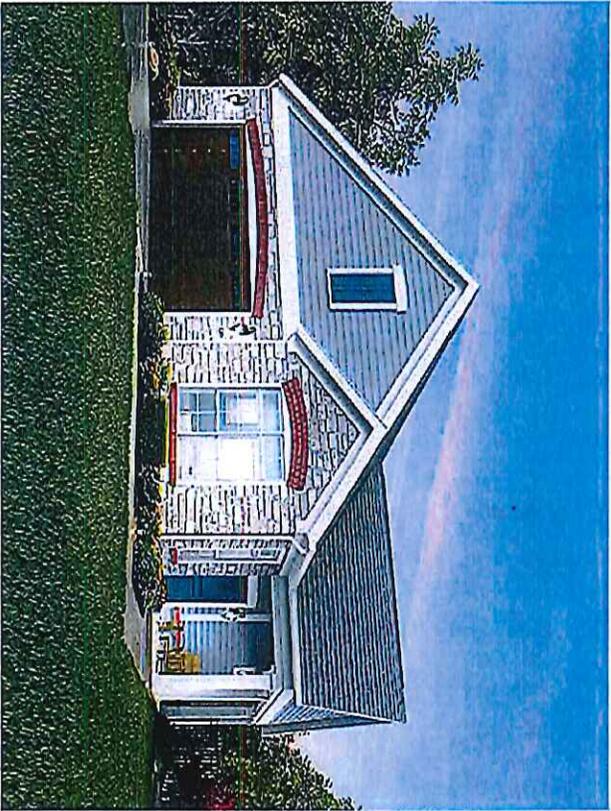
Portico

Elevation C - Base

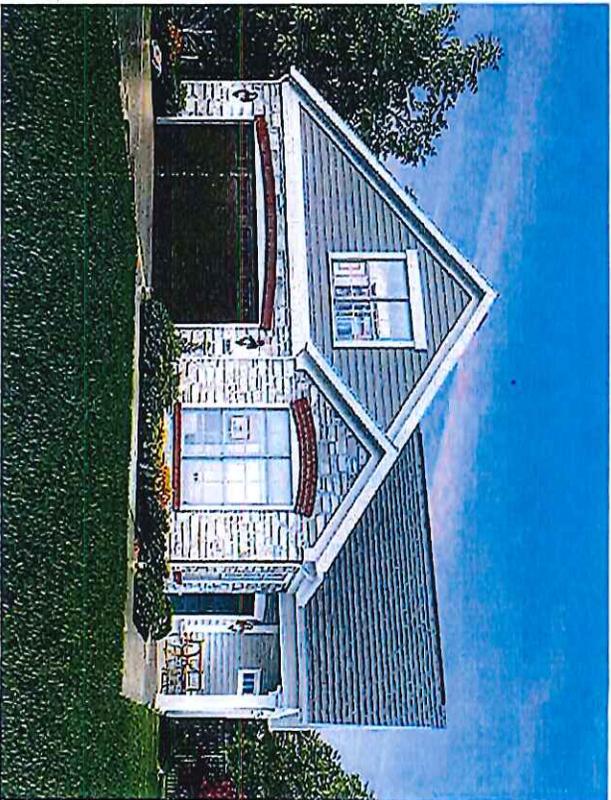


Promenade

Elevation A - Base

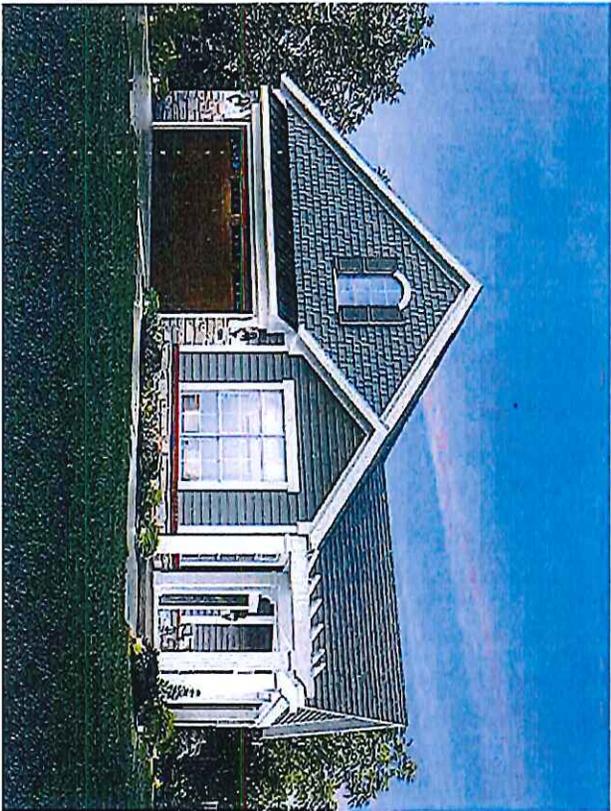


Elevation A – Bonus Suite

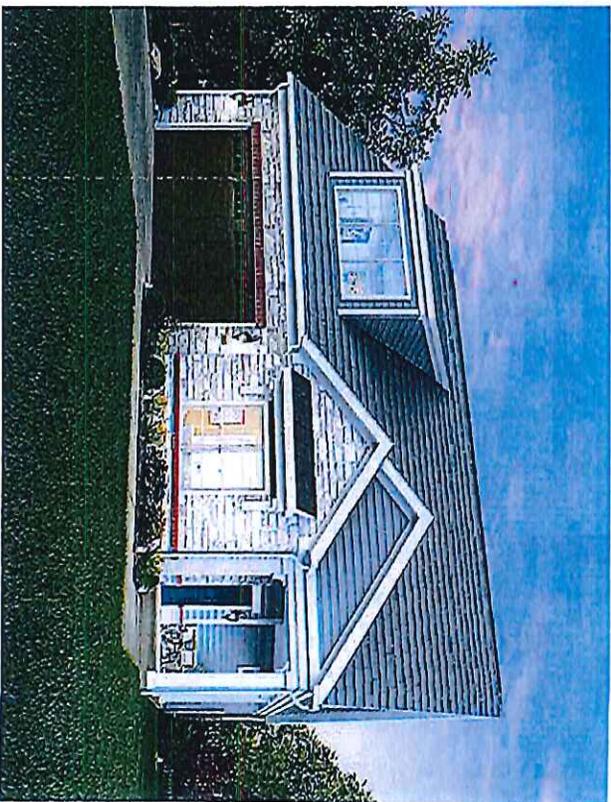


Promenade

Elevation B - Base



Elevation B – Bonus Suite



Promenade

Elevation C – Base





To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: May 9, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	Courtyards of Zionsville	
	Location	Deer Ridge Drive and C.R. 950 E	
	Developer	Courtyards of Zionsville, LLC	
	Submittal	Submittal #3	
Documents Reviewed		Document Name	Document Date
		Drainage Report	4/1/2016, revised 4/28/16
		Development (Construction) Plans	4/29/2016 (Plot Date)
		Primary Plat	4/29/2016 (Plot Date)
Zoning	Current	R4	
	Proposed	R4	
Land Use	Current	Agricultural	
	Proposed	Residential	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town's standards or requirements:

I. DEVELOPMENT PLAN

- A. Indicate on Sheet C401 that the sanitary sewer segment from MH #3 to MH #2 is to be installed by directional drilling meeting the guidance of IDEM.
- B. The sanitary sewer segment from MH#3 to MH #2 should be SDR-11 HDPE fused joint pipe for directional drilling.
- C. Provide concrete cradles for the water mains crossing the storm sewer downstream of STR #121.

- D. The invert of STR #137 is indicated as 900.61 on Sheet C102 and 900.18 on Sheet C603. STR 117 shows the same discrepancy between sheets. Please resolve these discrepancies.
- E. Show the water quality structures on the plan views of the storm sewer P&Ps.
- F. Please note that non-standard street signage, sign poles, and street lights, such as those shown in the drawings, will be the responsibility of the neighborhood association to maintain. Please provide suitable provisions in the neighborhood covenants for this responsibility.
- G. Provide information on the location where the flexible tee saddle that necessitates the standard detail S-13 on sheet C802. Typically, tee saddles are not allowed in new construction. If not needed, please omit this detail.
- H. Provide a fountain on the eastern area of Pond 1 or provide calculations indicating that the proposed western fountain will effectively mix the eastern portion of the pond through the constriction in the middle of the pond. Simple volume mixing calculations will likely not be adequate for this purpose.

II. DRAINAGE REPORT

- A. Please provide Sheet C109, referenced in the drainage report as indicating the paths of the emergency flood routing. This sheet was not included in the development plan.
- B. The flood routing narrative (pg 7) indicates the emergency flood routing goes to the northeast and southwest site boundaries and then to the proposed pond. Without Sheet C109, we cannot confirm, but please check the accuracy of this statement, as both of these locations are distant from the pond and the southwest drainage basin naturally flows to the south and west, away from the pond.
- C. The development of the CPv and the weir elevations for the 10-year and 100-year flow control weirs is not clear to us in the report. Weir elevations appear to change in various calculations. Please outline the methodology for development of these data and summarize the selected weir elevations and weir sizes in the narrative.
- D. The mass grading of Lot 2 will not significantly change the drainage pattern of the site and will not increase stormwater runoff, so will not need to be connected to the development's stormwater system at this time. Any changes of use or revisions of the drainage patterns of the site will necessitate collection, attenuation, and treatment of the stormwater in the subdivision's storm sewer system. Mass grading of the site will necessitate erosion control measures and re-establishment of permanent vegetation.

- E. Provide hydrographs of the pond elevations through the event and indicate the remaining percent volume at 12 hours and 48 hours after the beginning of the precipitation event and 36 hours after the maximum water level.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

1. The Development Plan/Modification of Development Plan **(is/is not)** compatible with surrounding land uses because: **The site is zoned R4. There are existing residential developments adjoining the property on the north, east and west sides.**
2. The Development Plan/Modification of Development Plan **(does/does not)** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because: **Water, sanitary sewer, gas, and electricity are all available to the site. Storm water drainage can also be achieved.**
3. The Development Plan/Modification of Development Plan **(does/does not)** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because: **The appropriateness of the traffic facilities were prepared and submitted with the Primary Plat application.**
4. The Development Plan/ Modification of Development Plan **(does/does not)** utilize building materials and building style compatible with the Zionsville theme because: **The building style and materials have been carefully selected and are of a level of quality typically found in Zionsville.**
5. The Development Plan/Modification of Development Plan **(does/ does not)** provide for the calculation of storm water runoff because: **Storm water runoff calculations and modeling have been performed under the direction of a professional engineer.**
6. The Development Plan/Modification of Development Plan **(does/does not)** provide for current and future right-of-way dedications because: **All required rights of way have been shown and dedicated on the Primary Plat.**
7. The Development Plan/Modification of Development Plan **(does/does not)** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because: **Building setback lines were previously approved by the BZA. The development is under the allowable 4 units per acre, while still providing 3-4 times the required landscaping. Dedicated streets and walkways are also provided, as well as lighted parking and sitting areas for the residents.**

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 20____.



Petition Number: 2016-28-Z

Subject Site Address: 975 W. Poplar Street (AKA 120 N. 9th Street)

Petitioner: Zionsville Christian Church

Representative: David G. Ruffer

Request: Petition for Zone Map Change to rezone 0.275 acres from the (SU-2) Urban Special Use Zoning District to the (RV) Urban Residential Zoning District

Current Zoning: (SU-2) Urban Special Use Zoning District

Current Land Use: Undeveloped

Approximate Acreage: 4.855-acres

Related Petitions: None

Exhibits: Exhibit 1 - Staff Report
Exhibit 2 - Aerial/Location Map
Exhibit 3 – Conceptual Site Layout Plat
Exhibit 4 - Town Engineer Review Comments (dated April 26, 2016)
Exhibit 5 - Comprehensive Plan Map

Staff Reviewer: Wayne DeLong, AICP

PROJECT OVERVIEW

Project Location

The subject property is approximately 4.855 acres located at the intersection of Beechwood Lane and Poplar Street

Project Description

The proposed 0.275 acre parcel to be split from the 4.855 acre parcel is currently zoned (SU-2) Urban Special Use Zoning District. The Petitioner requests to rezone the property to the (RV) Urban Residential Zoning District in anticipation of the construction of a new single family residential dwelling.

Zoning Ordinance

In preparing and considering rezoning proposals under the 600 series of Indiana Code, the Plan Commission and the Town Council shall pay reasonable regard to:

- (1) the comprehensive plan;
- (2) current conditions and the character of current structures and uses in each district;
- (3) the most desirable use for which the land in each district is adapted;
- (4) the conservation of property values throughout the jurisdiction; and
- (5) responsible development and growth.

Responses (findings) to each of these items are offered below:

Comprehensive Plan

While the Comprehensive Plan recommends the location for Special Use (as Special Uses typically located where the Use is needed), the site is adjacent to residentially utilized property on three sides. Further, the proposed rezoning is an appropriate land use consistent with the policies of the Comprehensive Plan, given that the property is not desired to be retained by the current owner (the Special Use recognized by the Comprehensive Plan).

Current conditions and the character of current structures and uses in each district

As the use to the west, north, and east are existing single-family dwellings, the proposed rezoning serves to enhance the established residential development to the east.

The most desirable use for which the land in each district is adapted

While the land is located directly adjacent to an SU-1 Special Use Development District to the south, established residential uses are located to the east, west, and north, it has access to an improved roadway as well as adequate utilities. Residential zoning that is consistent with the established residential pattern is the most desirable use of the land.

The conservation of property values throughout the jurisdiction

Planned, orderly development of property is a key component in the conservation of property values. Nothing is noted in this proposal or associated petition filings to be contrary to the conservation of property values in the immediate area or the Town.

Responsible growth and development

The petition represents responsible growth and development as it is following the recommendations of the Comprehensive Plan for the Town of Zionsville.

STAFF COMMENTS

Staff recommends a favorable recommendation of the rezoning petition.

RECOMMENDED MOTIONS

Motion

I move that Docket #2016-28-Z, Zone Map Change to rezone 0.275 acres from the (SU-2) Urban Special Use Zoning District to the (RV) Urban Residential Zoning District receive a (favorable recommendation based upon the findings in the staff report / unfavorable recommendation / Continued) as presented, with the recommendation being certified to the Town Council for adoption or rejection.

PROCEDURAL NOTE

The recommendation of the Plan Commission, if finalized on May 16, 2016, will be forwarded (as certified) to the Town Council for consideration at its June 6, 2016 meeting.

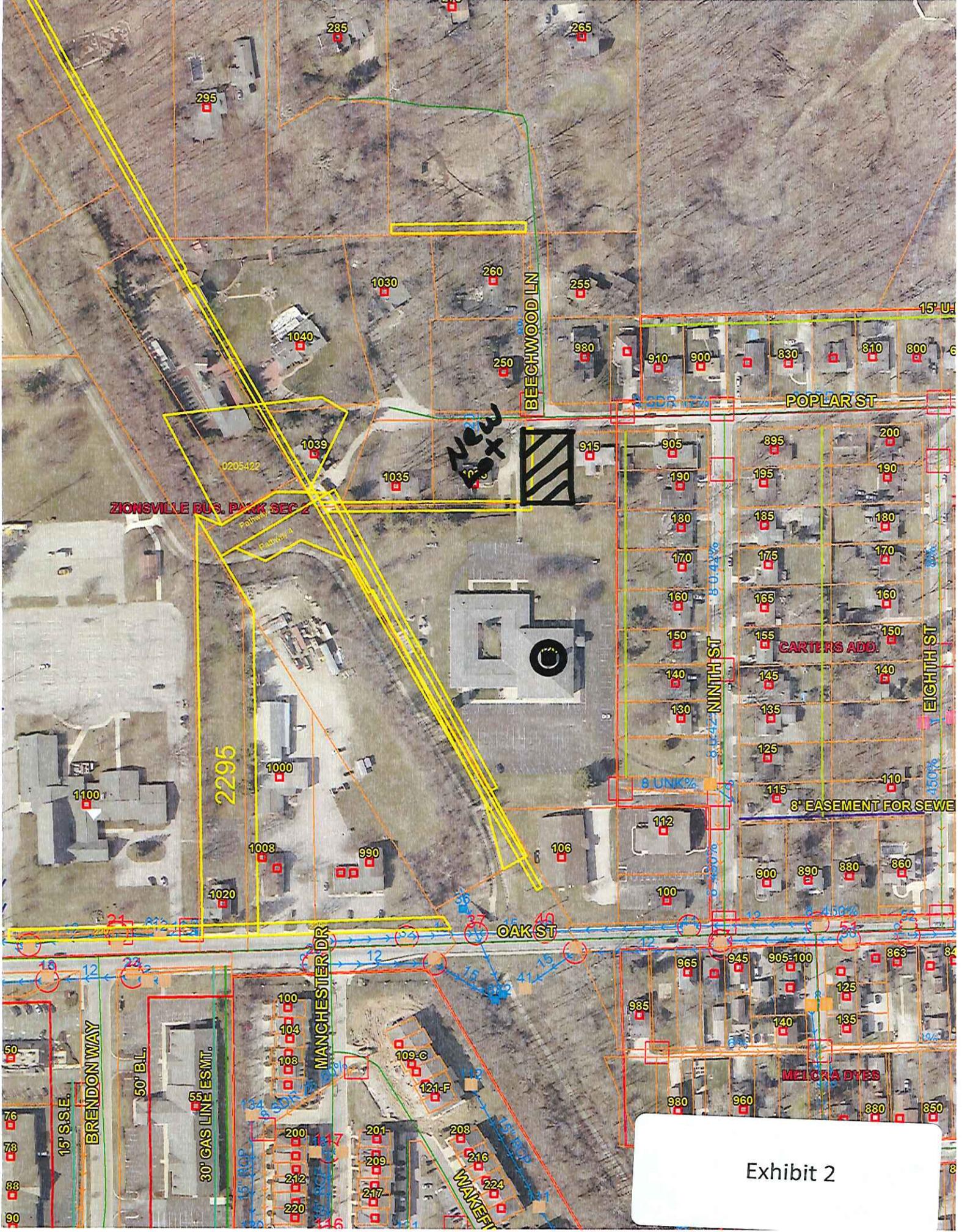


Exhibit 2

MINOR PLAT of POPLAR STREET ONE LOT

PART OF NORTHWEST QUARTER 2-17-2 ZIONSVILLE, BOONE COUNTY, INDIANA

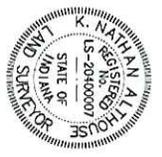
SURVEYOR CERTIFICATION

I, K. NATHAN ALTHOUSE, HEREBY CERTIFY THAT:
 THE WITHIN PLAT IS A REPRESENTATION OF THE LAND SURVEYED, SUPERVISED AND PLATTED UNDER MY OR
 SUPERVISION AND CONTROL, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
LEGAL DESCRIPTION OF REAL ESTATE

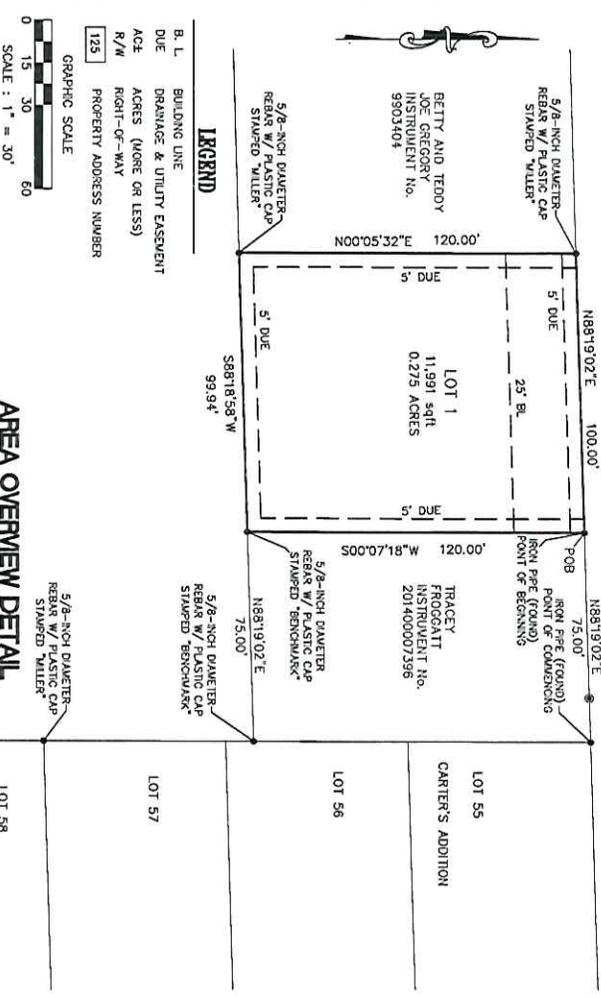
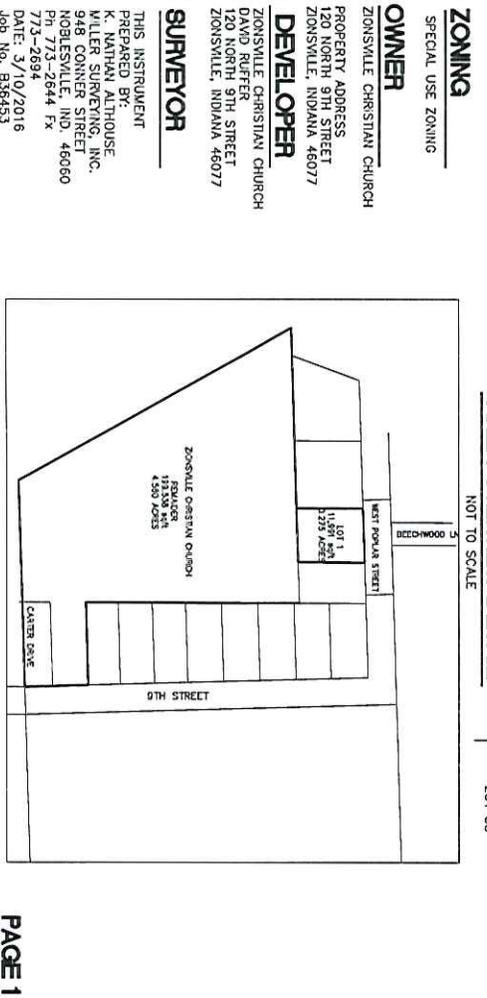
A PART OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 17 NORTH, RANGE 2 EAST, TOWN OF
 ZIONSVILLE, BOONE COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT AN IRON PIPE FOUND MARKING THE NORTHWEST CORNER OF LOT 55 IN CARTER'S ADDITION
 RECORDED IN PLAT BOOK 5, PAGES 18-19, IN THE OFFICE OF THE RECORDER OF BOONE COUNTY, INDIANA,
 THENCE SOUTH 88 DEGREES 19 MINUTES 02 SECONDS WEST 75.00 FEET ALONG THE SOUTHERN RIGHT-OF-WAY
 OF POPLAR STREET TO A ROUND IRON PIPE, SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION,
 THENCE SOUTH 00 DEGREES 07 MINUTES 18 SECONDS WEST 120.00 FEET TO A 5/8" IRON DIAMETER REBAR
 PLASTIC CAP STAMPED "BENCHMARK"; THENCE SOUTH 89 DEGREES 18 MINUTES 58 SECONDS WEST 99.94 FEET
 TO A 5/8" IRON DIAMETER REBAR WITH PLASTIC CAP STAMPED "WALTER", THENCE NORTH 00 DEGREES 05
 MINUTES 32 SECONDS EAST 120.00 FEET TO THE SOUTHERN RIGHT-OF-WAY OF SAID POPLAR STREET AND A
 SECOND POINT OF BEGINNING, THENCE NORTH 00 DEGREES 07 MINUTES 18 SECONDS WEST 120.00 FEET TO THE POINT OF
 BEGINNING.
 CONTAINING 0.275 ACRES, MORE OR LESS, AND BEING SUBJECT TO ALL LEGAL HIGHWAYS, RIGHTS-OF-WAY AND
 EASEMENTS THEREON.
 THIS SUBDIVISION CONSISTS OF 1 LOT, NUMBERED 1, TOGETHER WITH EASEMENTS AS SHOWN ON THE WITHIN
 PLAT;

THE SIZE OF THE EASEMENTS ARE SHOWN IN FIGURES DENOTING FEET AND DECIMAL PARTS THEREOF;
 ALL MONUMENTS SHOWN ON THE WITHIN PLAT ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL
 ARE ACCURATELY SHOWN;
 THE SIZE OF THE EASEMENTS ARE SHOWN IN FIGURES DENOTING FEET AND DECIMAL PARTS THEREOF;
 ALL MONUMENTS SHOWN ON THE WITHIN PLAT ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL
 ARE ACCURATELY SHOWN;
 THE BOUNDARY SURVEY OF THIS PLAT IS IN CONFORMITY WITH 665 IAC 1-12; AND, THE WITHIN PLAT COMPLETES
 WITH THE PROVISIONS OF THE TOWN OF ZIONSVILLE SUBDIVISION CONTROL ORDINANCE.
 GROSS-REFERENCE IS HEREBY MADE TO A SURVEY RECORDED IN INSTRUMENT # _____ AS RECORDED BY THE RECORDER OF BOONE COUNTY, INDIANA.
 THE BOUNDARY SURVEY OF THIS PLAT IS IN CONFORMITY WITH 665 IAC 1-12; AND, THE WITHIN PLAT COMPLETES
 WITH THE PROVISIONS OF THE TOWN OF ZIONSVILLE SUBDIVISION CONTROL ORDINANCE.
 WITNESS BY SIGNATURE THIS _____ DAY OF _____ 2016.

SIGNATURE _____
 PRINTED: K. NATHAN ALTHOUSE, PLS
 REGISTERED LAND SURVEYOR - INDIANA - # LS20400007



AS USED IN THIS SURVEY, CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL
 OPINION OF CONDITIONS REGARDING THOSE FACTS OR FINDING WHICH ARE THE SUBJECT
 OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER
 EXPRESSED OR IMPLIED.
BUILDING SETBACK LINE
 THE BUILDING SETBACK LINES SHOWN ON THE PLAT ARE PURSUANT TO THE ZONING
 CODE OF THE TOWN OF ZIONSVILLE. THE REQUIRED MINIMUM DEPTH OF FRONT YARD
 SETBACK MAY BE REDUCED PER THE REQUIREMENTS OF ZONING CODE, ARTICLE 2,
 SECTION 2.13(B)(1) (AS AMENDED).
 I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN
 REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS
 DOCUMENT, UNLESS REQUIRED BY LAW.
 K. NATHAN ALTHOUSE.



LEGEND
 B. L. BUILDING LINE
 DUE DRAINAGE & UTILITY EASEMENT
 A.C.E. ACRES (MORE OR LESS)
 R/W RIGHT-OF-WAY
 125 PROPERTY ADDRESS NUMBER
 GRAPHIC SCALE
 0 15 30 60
 SCALE : 1" = 30'

ZONING
 SPECIAL USE ZONING

OWNER
 ZIONSVILLE CHRISTIAN CHURCH
 PROPERTY ADDRESS
 120 NORTH 9TH STREET
 ZIONSVILLE, INDIANA 46077

DEVELOPER
 ZIONSVILLE CHRISTIAN CHURCH
 120 NORTH 9TH STREET
 ZIONSVILLE, INDIANA 46077

SURVEYOR
 THIS INSTRUMENT
 PREPARED BY:
 K. NATHAN ALTHOUSE
 MILLER SURVEYING, INC.
 948 CONNER STREET
 NOBLESVILLE, IN. 46060
 Ph 773-2844 Fx
 773-2894
 DATE: 3/10/2016
 Job No. B58453

MINOR PLAT of POPLAR STREET ONE LOT

PART OF NORTHWEST QUARTER 2-17-2
ZIONSVILLE, BOONE COUNTY, INDIANA

DEDICATION STATEMENT
WE, ZIONSVILLE CHRISTIAN CHURCH, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE REAL PROPERTY LOCATED IN THE TOWN OF ZIONSVILLE, BOONE COUNTY, INDIANA, ACCORDING TO DEED RECORDED IN INSTRUMENT No. 201400007856, OF THE OFFICIAL RECORDS OF THE RECORDER OF BOONE COUNTY, INDIANA, AND FURTHER DESCRIBED AS FOLLOWS:

SEE LAND DESCRIPTION

NOW THEREFORE KNOW ALL PERSONS BY THESE PRESENTS THAT WE DO HEREBY GIVE, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT.

THIS SUBDIVISION SHALL BE KNOWN AS POPLAR STREET ONE LOT, AN ADDITION TO THE TOWN OF ZIONSVILLE, BOONE COUNTY, INDIANA.

ALL STREETS, ALLEYS, WAYS AND PUBLIC OPEN SPACES SHOWN ON THE WITHIN PLAT NOT HERETOFORE CONVEYED BY ANY INSTRUMENT SHALL BE CONVEYED BY THIS INSTRUMENT TO THE TOWN OF ZIONSVILLE, BOONE COUNTY, INDIANA, AND EXCEPT FOR THOSE STREETS, ALLEYS, WAYS AND OPEN SPACES SPECIFICALLY IDENTIFIED AS PRIVATE ON THE PLAT AND APPROVED BY THE PLAN COMMISSION TO BE PRIVATELY OWNED, OPERATED AND MAINTAINED, FRONT BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE WITHIN PLAT, BETWEEN WHICH LINES AND STREET RIGHT-OF-WAY LINES AND BUILDING OR STRUCTURE (EXCEPT FOR PARKING AREAS, DRIVEWAYS AND INTERIOR DRIVEWAYS) SHALL BE DELETED OR MAINTAINED.

ALL STORM WATER, DRAINAGE, WATER, AND SANITARY SEWER EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE TOWN OF ZIONSVILLE, INDE AND EXCEPT FOR THOSE STORM WATER DRAINAGE EASEMENTS SPECIFICALLY IDENTIFIED AS PRIVATE ON THE PLAT AND APPROVED BY THE PLAN COMMISSION TO BE PRIVATELY OWNED, OPERATED AND MAINTAINED, THESE EASEMENTS, NO STRUCTURE, PLANTING OR OTHER MATERIAL, SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY DAMAGE OR INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES. THE EASEMENT AREA OF EACH LOT SHALL BE CONTINUOUSLY MAINTAINED AS A YARD AREA BY THE OWNER OF THE LOT FOR WHICH THESE IMPROVEMENTS WHICH ARE THE RESPONSIBILITY OF A PUBLIC AUTHORITY OR UTILITY COMPANY TO MAINTAIN.

WHEN DRAINAGE EASEMENTS, NO STRUCTURE, PLANTING OR OTHER MATERIAL SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY DAMAGE OR INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES, THE EASEMENT AREA OF EACH LOT SHALL BE CONTINUOUSLY MAINTAINED AS A YARD AREA BY THE OWNER OF THE LOT, EXCEPT FOR THOSE IMPROVEMENTS WHICH ARE THE RESPONSIBILITY OF A PUBLIC AUTHORITY OR UTILITY COMPANY TO MAINTAIN.

THE FIRST FIVE (5) FEET OF ANY UTILITY EASEMENT WHICH IS LOCATED ALONG A STREET RIGHT-OF-WAY SHALL BE RESERVED FOR USE AS A TOWN OF ZIONSVILLE UTILITY EASEMENT FOR SEWER AND WATER, AND SHALL BE USED FOR THE INSTALLATION AND MAINTENANCE OF FIRE HYDRANTS, WATER PITS, AND SMALL APPURTENANCES APPROVED BY THE TOWN ENGINEER. ALL OTHER UTILITY COMPANIES SHALL HAVE THE RIGHT TO CROSS THE FIRST FIVE (5) FEET OF SAID UTILITY EASEMENT AT OR NEAR PERPENDICULAR, NO OTHER UTILITY EASEMENT SHALL BE INSTALLED WITHOUT THE WRITTEN APPROVAL OF THE TOWN ENGINEER.

THE FOREGOING PLAT COVENANTS SHALL RUN WITH THE LAND AND SHALL BE BONDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM FOR A PERIOD OF TWENTY-TWO (22) YEARS FROM THE DATE OF THE EXTENSION FOR SUCCESSIVE PERIODS AT WHICH THE SAID PLAT COVENANTS SHALL AUTOMATICALLY BE EXTENDED FOR SUCCESSIVE PERIODS OF TWENTY-TWO (22) YEARS FROM THE MAJORITY OF THE THEN OWNERS OF THE BUILDING SITE COVERED BY THESE PLAT COVENANTS IT IS AGREED TO CHANGE SUCH PLAT COVENANTS IN WHOLE OR IN PART.

INVALIDATION OF ANY ONE OF THE FOREGOING PLAT COVENANTS BY JUDGMENT OR COURT ORDER SHALL IN NO WAY AFFECT ANY OF THE OTHER PLAT COVENANTS WHICH SHALL REMAIN IN FULL FORCE AND EFFECT. THE RIGHT TO ENFORCE THESE COVENANTS BY INJUNCTION, TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL BY DUE PROCESS OF LAW OF ANY STRUCTURE OR PART THEREOF ERRECTED OR MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE PUBLIC AND RESERVED TO THE SEVERAL OWNERS OF THE SEVERAL LOTS IN THE SUBDIVISION AND TO THEIR HEIRS AND ASSAENS.

IN WITNESS WHEREOF, OWNER HAS EXECUTED THIS INSTRUMENT THIS DAY OF _____,

SIGNATURE _____
PRINTED ZIONSVILLE CHRISTIAN CHURCH
STATE OF)) SS. COUNTY OF)
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED
EXECUTION OF THE FOREGOING INSTRUMENT AND WHO, HAVING BEEN DULY SWORN, STATED THAT ANY REPRESENTATIONS THEREIN CONTAINED ARE TRUE.
WITNESS MY HAND AND NOTARIAL SEAL THIS DAY OF _____, 2015.

SURVEYOR
THIS INSTRUMENT
PREPARED BY:
K. NATHAN ALTHOUSE
MILLER SURVEYING, INC.
948 CONNER STREET
NAGLESVILLE, IND. 46080
771-269-4444 fx
DATE: 3/10/2016
Job No. B36453

OWNER DEVELOPER
ZIONSVILLE CHRISTIAN CHURCH
PROPERTY ADDRESS:
120 NORTH 9TH STREET
ZIONSVILLE, INDIANA 46017

ZONING
SPECIAL USE ZONING

THESE PLAT COVENANTS AND RESTRICTIONS ARE ADOPTED THIS _____ DAY OF MARCH, 2016 AS FOLLOWS:

1. THE PLATTED LOT SHALL CONSIST OF SINGLE FAMILY RESIDENCES ONLY. THE SINGLE FAMILY RESIDENCES TOGETHER WITH ANY ACCESSORY STRUCTURE CONSTRUCTED ON LOT 1 SHALL CONSIST OF BUILDING MATERIALS SUCH AS WOOD, CONCRETE, FIBERBOARD, STONE, BRICK AND OTHER MASONRY APPROVED BY THE TOWN ENGINEER. THE MINIMUM ACCESSORY USE HEIGHT OF THESE SINGLE FAMILY RESIDENCES ON LOT 1 SHALL NOT EXCEED THE MAXIMUM ALLOWED IN THE BY RESIDENTIAL ZONING DISTRICT.

2. OWNER OF PLATTED LOT IN POPLAR STREET ONE LOT SUBSEQUENT OWNERS OF LOT 1, THE ARCHITECTURAL CONTROL BOARD IS HEREBY ESTABLISHED FOR THE PLATTED LOTS CONSISTING OF ZIONSVILLE, INDE AND EXCEPT FOR THOSE ARCHITECTURAL AND BUILDING PLANS FOR SINGLE FAMILY RESIDENCES AND ACCESSORY STRUCTURES FOR LOT 1, AS SUCH, SUBSEQUENT LOT PURCHASERS ARE WELL ADVISED TO OBTAIN PRE-APPROVAL OF ARCHITECTURAL AND BUILDING PLANS FOR LOT 1 AT THE OFFICE OF THE TOWN ENGINEER. THE ARCHITECTURAL AND BUILDING RESTRICTIONS SHALL AUTOMATICALLY EXPIRE WITHIN ONE (1) YEAR OF A CERTIFICATE OF OCCUPANCY BEING ISSUED FOR THE LAST SINGLE FAMILY RESIDENCE CONSTRUCTED ON LOT 1.

ZIONSVILLE CHRISTIAN CHURCH

STATE OF INDIANA)) SS. COUNTY OF _____)

SUBSCRIBED AND SWORN TO BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, THIS _____ DAY OF _____, 2016.

SIGNATURE _____ NOTARY PUBLIC

PRINTED _____ COUNTY OF RESIDENCE: _____

MY COMMISSION EXPIRES _____

PLAN COMMISSION APPROVAL

THE TOWN ENGINEER AND BUILDING COMMISSIONER OF THE TOWN OF ZIONSVILLE HAVE REVIEWED THIS PLAT FOR TECHNICAL CONFORMITY WITH THE STANDARDS FILED IN THE ZIONSVILLE ZONING ORDINANCE AND THE ZIONSVILLE SUBDIVISION CONTROL ORDINANCE AND HEREBY CERTIFY THAT THIS PLAT MEETS ALL CITY AND TOWN REQUIREMENTS AND IS IN ACCORDANCE WITH THE CITY AND REQUIREMENTS OF THE TOWN OF ZIONSVILLE, BOONE COUNTY, INDIANA.

BY: _____ BY: _____

PRINTED: _____ TOWN ENGINEER
BUILDING COMMISSIONER
TOWN OF ZIONSVILLE
BOONE COUNTY, INDIANA

TOWN OF ZIONSVILLE PLAN COMMISSION

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT UNDER AUTHORITY PROVIDED BY THE INDIANA PLANNING LAW, IC 36-7-4, ET SEQ., AND NOTED BY THE COUNTY ASSEREN OF THE STATE OF INDIANA, I, _____, COUNTY CLERK, DO HEREBY CERTIFY THAT THE DEPICTED HEREIN IS THE PLAT WHICH WAS GIVEN APPROVAL BY THE TOWN OF ZIONSVILLE PLAN COMMISSION AT A MEETING HELD ON THE _____ DAY OF _____, 2016.

WITNESS BY SIGNATURE THIS _____ DAY OF _____

TOWN OF ZIONSVILLE PLAN COMMISSION

SIGNATURE _____ SIGNATURE _____
PRINTED _____ PRINTED _____
TITLE PRESIDENT TITLE SECRETARY

I AFFIRM UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. K. NATHAN ALTHOUSE.



To: Wayne DeLong, Director of Planning and Economic Development
 From: Mark DeBruler, P.E., Town Engineer *md*
 Date: April 26, 2016

We have completed our review of the following submittal for the referenced project.

PROJECT DESCRIPTION

Project	Name	Poplar Street One Lot	
	Location	Poplar Street at Beechwood Lane	
	Developer	Zionsville Christian Church	
	Submittal	#1	
Documents Reviewed	Document Name	Document Date	
	Minor Plat of Poplar Street One Lot	April 12, 2016 (Receipt Date)	
Zoning	Current	SU-2	
	Proposed	RV	
Land Use	Current	Fallow (Lawn Grasses)	
	Proposed	Residential	
Requested Variances			

Based on our review, we have developed the following list of items that do not appear to be consistent with the Town's standards or requirements:

I. MINOR PLAT

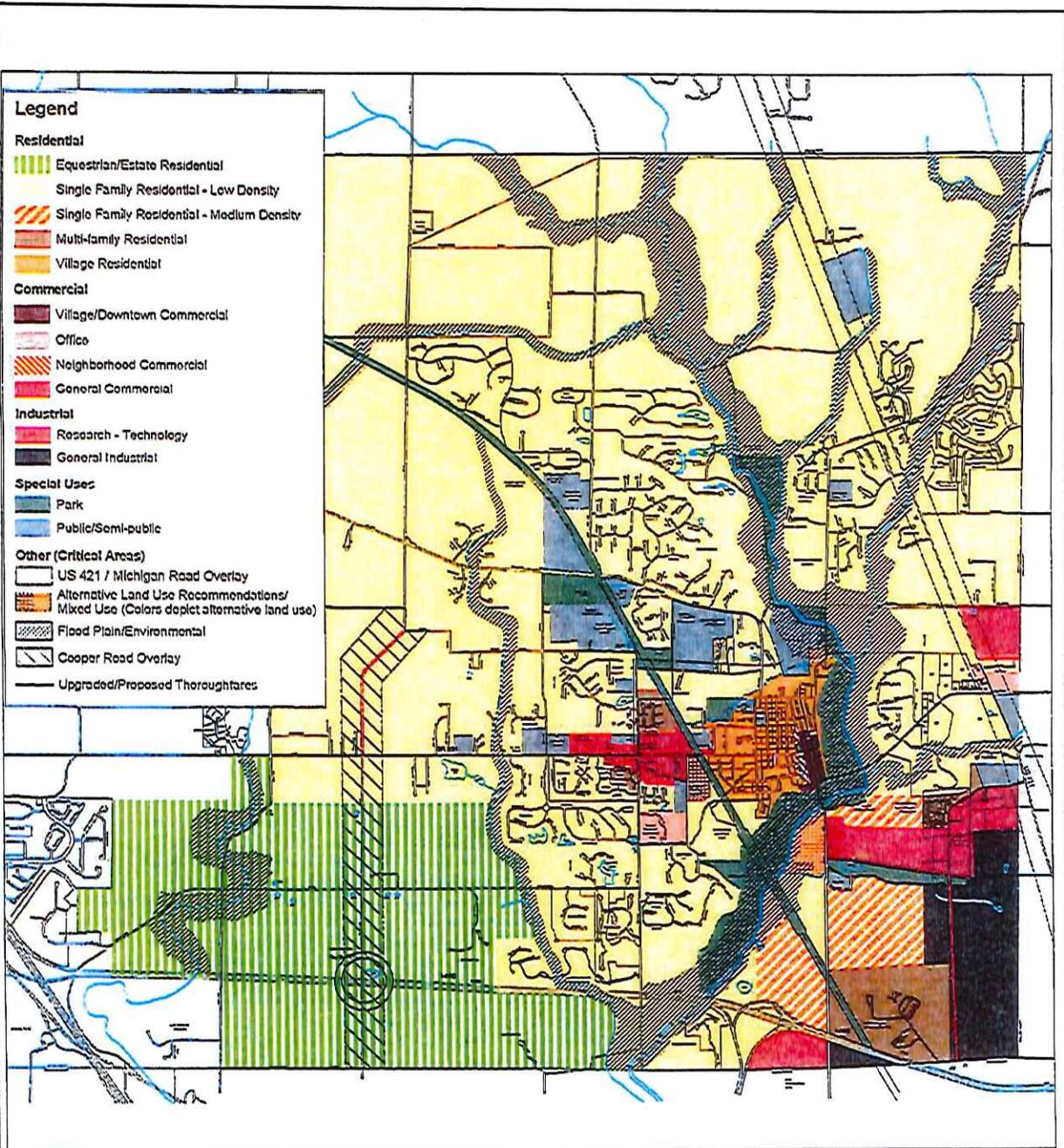
- A. Please provide copies of the last deeds of record for the ZCC property, the Poplar Street property, and any portion of the Beechwood Lane roadway owned by the ZCC (these areas are shown in the Boone County GIS as being owned by the ZCC).
- B. Provide a statement regarding the presence or absence of floodway and floodway fringe on the property.
- C. Provide a street address for the lot.

- D. Revise the dedication statement to incorporate all deeds ultimately incorporated into the plat (see Item A above).
- E. Reference is made to Fourth and Pine Estates in the Dedication Statement. Please correct to the title of this plat.

The following items are provided for reference only to aide in tracking follow-up provisions on future secondary plat, construction plan, or other related administrative submittals.

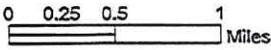
II. FUTURE FOLLOW-UP ITEMS

- A. Improvement Location Permit
 - 1. Provide or arrange for the future funding of a sidewalk in front of the lot.



- Legend**
- Residential**
- Equestrian/Estate Residential
 - Single Family Residential - Low Density
 - Single Family Residential - Medium Density
 - Multi-family Residential
 - Village Residential
- Commercial**
- Village/Downtown Commercial
 - Office
 - Neighborhood Commercial
 - General Commercial
- Industrial**
- Research - Technology
 - General Industrial
- Special Uses**
- Park
 - Public/Semi-public
- Other (Critical Areas)**
- US 421 / Michigan Road Overlay
 - Alternative Land Use Recommendations/ Mixed Use (Colors depict alternative land use)
 - Flood Plain/Environmental
 - Cooper Road Overlay
 - Upgraded/Proposed Thoroughfares

Note: See Text for Detailed Description of Land Use Classification



Zionsville Comprehensive Plan



Figure 6.2 Proposed Land Use

July 2003