



Plan Commission (PC)

INITIAL Petition Filings

Docket # : _____
Petitioner: _____
Public Hearing Date: _____

Staff Reports and Petition Packets will be posted with the public meeting agenda at the following location <http://www.zionsville-in.gov/AgendaCenter>

Town of Zionsville
Petition for Development Plan
Approval

Application Packet
And
General Instructions

Office Use Only

Petition No.: _____

Hearing Date: _____

Recommendation: _____

Town of Zionsville

Petition for Plan Commission Approval

1. SITE INFORMATION:

Address of Property: NE Corner of 106th Street & Creek Way
Existing Use of Property: Vacant
Proposed Use of Property: Racing Team Headquarters
Current Zoning: PUD-Creekside Area in acres: 10.4
Corporate Park

2. PETITIONER/PROPERTY OWNER

| | |
|---|---------------------------------------|
| Petitioner: | Owner (If different from Petitioner): |
| Name: <u>Rahal Letterman Lanigan Racing</u> | Name: <u>Town of Zionsville</u> |
| Address: <u>c/o Piers Phillips</u> | Address: <u>1100 W. Oak Street</u> |
| <u>485 Southpointe Circle, STE 800</u> | <u>Zionsville, IN 46077</u> |
| Phone: <u>Brownsburg, IN 46112</u> | Phone: _____ |
| Fax: <u>317-509-4910</u> | Fax: _____ |
| E-Mail: <u>pPhillips@rahal.com</u> | E-Mail: _____ |

3. PETITIONER'S ATTORNEY/CONTACT PERSON AND PROJECT ENGINEER (IF ANY):

| | |
|--|---|
| Attorney <input checked="" type="checkbox"/> Contact Person: | Project Engineer / Architect: |
| Name: <u>Renier Construcion c/o Bill Heifner</u> | Name: <u>Fritz Engineering c/o Ashton Fritz</u> |
| Address: <u>2164 CityGate Drive</u> | Address: <u>14020 Mississinewa Drive</u> |
| <u>Columbus, OH 43219</u> | <u>Carmel, IN 46033</u> |
| Phone: <u>(614) 866-4580</u> | Phone: <u>317-324-8695</u> |
| Fax: _____ | Fax: <u>317-324-8717</u> |
| E-Mail: <u>bheifner@renier.com</u> | E-Mail: <u>ashton@Fritz-Eng.com</u> |

4. DETAILED DESCRIPTION OF REQUEST (Check all that apply)

(Describe reason(s) for request / attach additional pages if necessary):

- Development Plan Modification of Development Plan Waiver of Development Requirement(s)
 Termination of Development Plan Modification of Commitments Termination of Commitments

Development Plan Approval Request for a 100,000 Racing Headquarters Building with associated site improvements, drainage infrastructure and utility services.

5. ATTACHMENTS:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Legal description of property | <input checked="" type="checkbox"/> Proof of Ownership (<u>Recorded Plat</u> copy of Warranty Deed) |
| <input checked="" type="checkbox"/> Owner's Authorization (if petitioner is not the owner) | <input checked="" type="checkbox"/> Copies of the Site Plan (if applicable) |
| <input checked="" type="checkbox"/> Statement of Proposed Modification or Termination Of Commitments | <input checked="" type="checkbox"/> <u>Proposed Development Plan</u> Proposed Modification of Development Plan / Statement of Termination of Development Plan |
| <input checked="" type="checkbox"/> Proposed Findings (if a Development Plan) | |
| <input checked="" type="checkbox"/> Road Impact Calculation Form | |

The undersigned, having been duly sworn on oath states the above information is true and correct as (s) he is informed and believes. Further, the applicant understands that this project may be assigned Engineering review fees, which are payable upon invoicing. Road Impact Fees are payable upon Improvement Location Permit release.

Petitioner on Behalf of Owner

Signature of Owner or Attorney for Owner: _____

[Handwritten Signature]

Date: 9/11/2020

State of Ohio

County of Franklin ss:

Subscribed and sworn to before me this 11 day of September, 2020

[Handwritten Signature]
Notary Public Signature

Lori A. Rose
Notary Public Printed

My commission expires 10-30-20

My county of residence is Licking

My Commission No. is _____



Lori A Rose
Notary Public, State of Ohio
My Commission Expires 10-30-20

PROCEDURES AND REQUIREMENTS:

1. A complete Petition for Plan Commission Approval ("petition") must be submitted by **3:00 PM** a minimum of **31 days** prior to the initial hearing before the Plan Commission.
2. **Only complete Petitions will be placed on the agenda for the next Plan Commission meeting.** If a Petition is incomplete 31 days prior to the next Plan Commission meeting, the Petition will not be placed on an agenda until the Petitioner submits a complete Petition.
3. **Fifteen sets** of the following information must be submitted, with the notarized Petition, for internal staff review:
 - Legal description of property (Metes and bounds description must include a perimeter survey, drawn to scale – or – recorded subdivision legal description must include lot number, section number, subdivision name, either the plat book number of the recorded instrument number and a copy of the plat map.)
 - Proof of Ownership (copy of deed)
 - Owner's Authorization (if Petitioner is not the owner)
 - Site Plan (if applicable)
 - Proposed findings (if a Development Plan)
 - Statement of Modification or Termination of Commitments (if proposed)
 - Proposed Development Plan / Proposed Modification of Development Plan (if proposed)
 - Draft of Proposed Legal Notice
 - Application Fee: \$ 1,715.00 (Checks should be payable to *Town of Zionsville*)
 $\$675 + \$100 * 10.4 \text{ Acres}$

PUBLIC HEARING NOTIFICATION:

Notice of Public Hearing for Plan Commission Approval is to be completed as set forth in the Zoning Ordinance and Rules of Procedure for the Plan Commission. The procedures relating to notification of public hearings that are contained in this Packet are provided for convenience purposes only.

1. Approval of Notice: The Petitioner shall submit a proposed Notice of Public Hearing with its petition for review and approval by the Secretary of the Plan Commission.
2. Notice by Publication: Petitioner shall submit the approved Notice of Public Hearing to the Zionsville Times Sentinel to be **published at least 10 days prior** to the Public Hearing. **The petitioner shall bear the cost of publishing the Legal Notice.** The Secretary of the Plan Commission will provide the Petitioner with the filing and publication deadlines for the Legal Notice.
3. Notice by Mailing: The Petitioner is to send the approved Notice of Public Hearing to each interested party via certified mail with return receipt requested at least ten (10) days prior to the Public Hearing. Generally, all owners of adjoining parcels to a depth of one (1) ownership surrounding the perimeter of the area described in the Petition, and any owners of property within the area included in the Petition who are not Petitioners are to be notified. Please review the Rules of Procedure of the Plan Commission to ensure proper notification is given. The names and addresses of Interested Parties should be obtained from the Boone County Auditor's Office.
4. Affidavit of Notice: At least three (3) days prior to the Public Hearing, an Affidavit of Notice of Public Hearing must be completed and submitted to the Secretary of the Plan Commission. Copies of all "Receipt for Certified Mail" (white slips) shall be filed with the Affidavit of Notice of Public Hearing. The originals of the "Domestic Return Receipts" (green cards) shall be filed with the Secretary upon the later of: the public hearing or receipt by the Petitioner.

PETITION REVIEW PROCEDURES

1. An Internal Review Meeting is typically held the second Tuesday of the month, after the filing deadline, to evaluate the technical aspects of the project and completeness of the petition. Petitioner/applicant may need to attend these Internal Review meetings; meeting times will be assigned to each project/petitioner on the filing deadline date.
2. Once the Petition is complete, it will be placed on the next available Plan Commission agenda. The petitioner shall be responsible for delivering the Legal Notice (after it has been approved) to the Zionsville Times Sentinel for publication and for sending the Legal Notice to all Interested Parties.
3. The Petition and all supporting documentation will be forwarded to the Plan Commission members. *Please supply ten (10) packets of the supporting documentation for this distribution.*
4. The Secretary, members of the Plan Commission's staff or advisors to the Plan Commission may submit a written report, stating any facts concerning the physical characteristics of the area involved in the Petition, together with a recital of surrounding land use and public facilities available to service the area, or other pertinent facts. A copy of such statement shall be made available to the Petitioner and all remonstrators of record, if any.
5. The Plan Commission typically meets on the third Monday or each month at 7:00 p.m. in the Town Hall located at 1100 West Oak Street, Zionsville, Indiana 46077.
6. The Petitioner or remonstrators may request continuation of the Public Hearing at or one week prior to the Plan Commission meeting.
7. The Petitioner, Petitioner's attorney, or someone authorized by the Petitioner must be present at the Public Hearing to make a presentation of the Petition to the Plan Commission.
8. At the Public Hearing, the Plan Commission may continue the Public Hearing or may approve or deny the Petition.



**OWNER'S AUTHORIZATION
(Corporate Ownership)**

The undersigned, Sanjay Patel, as President of the Zionsville Economic Redevelopment Commission on behalf of the Town of Zionsville Department of Redevelopment, being the owner of the property commonly known as 10771 Creek Way, 10815 Creek Way & 10837 Creek Way, hereby authorizes Rahal Letterman Lanigan Racing to file Petitions for Subdivision Plat Approval and Development Plan Approval for the aforementioned property.

Zionsville Economic Redevelopment Commission

By: Sanjay B Patel
Sanjay Patel
(printed name)
President
(title)

State of INDIANA)
County of BOONE) SS:

Subscribed and sworn to before me this 14th day of September, 2020.

R. A. Kilmer / _____
Notary Public Signature Notary Public Printed

My commission expires March 12, 2027.
My county of residence is Hamilton County.
My Commission No. is NP0719136.

ROGER A. KILMER
Notary Public
SEAL
Hamilton County, State of Indiana
My Commission Expires March 12, 2027
Commission Number NP0719136

**NOTICE OF PUBLIC HEARING
BY THE TOWN OF ZIONSVILLE PLAN COMMISSION**

Notice is hereby given of a Public Hearing to be held by the Town of Zionsville Plan Commission

On Monday, October 19th, 2020 at 7:00 p.m. in the Zionsville Town Hall, 1100 West
(DATE OF PUBLIC HEARING)

Oak Street, Zionsville, Indiana 46077 to consider the following:

- PLAN COMMISSION APPROVAL** for a (Development Plan Modification of a Development Plan
 Waiver of Development Requirement(s) Termination of Development Plan
 Modification of Commitments Termination of Commitments) to allow for:

Development Plan Petition requesting approval of a 100,000 SF Racing
(BRIEF DESCRIPTION OF REQUEST)

Headquarters Building with associated infrastructure, stormwater management
and utility services within the Creekside Corporate Park PUD. Specifically, within

Lots 13 and 14 of the Creekside Corporate Park
The property involved commonly known as: 10815 Creek Way (NE corner of 106th Street & Creek Way)
(COMMON ADDRESS)

is currently zoned to the PUD zoning district, and is legally described as:
Creekside Corporate Park
(INSERT LEGAL DESCRIPTION OF PROPERTY)

A copy of the Petition for Plan Commission Approval and all plans pertaining thereto are on file and may be examined prior to the Public Hearing from 8:00 a.m. to 4:00 p.m. Monday through Friday, except for holidays, in the Office of Planning and Development at the Town Hall, 1100 West Oak Street, Zionsville, Indiana 46077. Written comments in support of or in opposition to the Petition for Plan Commission Approval are filed with the Secretary of the Town of Zionsville Plan Commission prior to the Public Hearing will be considered. The Public Hearing is open to the public. Oral comments to the Petition for Plan Commission Approval will be heard at the Public Hearing.

The Public Hearing may be continued from time to time as may be found necessary.

Upon request, the Town of Zionsville will provide auxiliary aids and services. Please provide advance notification to the Technology Department, assistance@zionsville-in.gov or 317-873-1577, to ensure the proper accommodations are made prior to the meeting.

(President)

(Secretary)

PUBLISH: Newspaper of General Circulation

**AFFIDAVIT OF NOTICE OF PUBLIC HEARING
OF THE TOWN OF ZIONSVILLE PLAN COMMISSION**

STATE OF Indiana)
COUNTY OF Hamilton) SS:

I, DO HEREBY CERTIFY THAT LEGAL NOTICE
(Name of person mailing letters)

TO INTERESTED PARTIES OF THE PUBLIC HEARING TO BE HELD BY THE TOWN OF ZIONSVILLE
PLAN COMMISSION, to consider the application of Rahal Letterman Lanigan Racing, c/o Piers Phillips
(Name of person on Petition)

Requesting: Development Plan Approval

was sent by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, to each of the following property owners
at the following addresses:

OWNER

ADDRESS

See Attached List

and that said Legal Notices were sent by Certified Mail, Return Receipt Requested on or before the 9th
day of October, 2020, being at least ten (10) days prior to the date of the Public Hearing
(copies of the "Receipt for Certified Mail" (white slips) attached).

and that said Legal Notice was published in a newspaper of general circulation at least ten (10) days prior to
the date of Public Hearing (Proof of Publication attached).

Ashton L. Fritz

(Name of person mailing letters)

State of _____)
County of _____) SS:

Subscribed and sworn to before me this _____ day of _____, _____.

Notary Public Signature

Notary Public Printed

My commission expires _____

My county of residence is _____ County.

My Commission No. is _____

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

1. The Development Plan/Modification of Development Plan **(is is not)** compatible with surrounding land uses because: The project site is located within the Creekside Corporate Park and adjacent to the Bennett Technology Park with similar uses existing and anticipated.
2. The Development Plan/Modification of Development Plan **(does/does not)** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because: The project site will be served by Citizens Water, Zionsville Sanitary through infrastructure installed during the Park development. Stormwater Drainage measures will be provided onsite.
3. The Development Plan/Modification of Development Plan **(does/does not)** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because: Visitor access to the main entrance will be provided from Creek Way. Employee parking and racing vehicle transports will have access to the site from Creek Way and/or an offsite entrance.
4. The Development Plan/ Modification of Development Plan **(does/does not)** utilize building materials and building style compatible with the Zionsville theme because: The building materials are in full compliance with the Creekside Corporate Park PUD and Zionsville Zoning Ordinance including the use of masonry, glass, naturalized stone, etc.
5. The Development Plan/Modification of Development Plan **(does/does not)** provide for the calculation of storm water runoff because: Onsite stormwater management facilities will be provided to handle the peak runoff in accordance with the Zionsville Stormwater Technical Standards and in compliance with the Creekside Corporate Park PUD.
6. The Development Plan/Modification of Development Plan **(does/does not)** provide for current and future right-of-way dedications because: The project site fronts along Creek Way and 106th Street. Both streets have full right of way existing per each respective road classification. No additional right of way is proposed or required.
7. The Development Plan/Modification of Development Plan **(does/does not)** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because: The proposed project will provide defined spaces for both employees and visitor traffic patterns and parking areas. In addition, green infrastructure such as pervious pavement, infiltration swales/basins, stormwater ponds, etc. are proposed on site.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 20__.



rahal letterman lanigan racing headquarters

zionsville development plan approval submission
october 19, 2020

project brief

The proposed Rahal Letterman Lanigan Racing Headquarters is a 100,000+ SF building to be located at the northeast corner of Creek Way and 106th Street in Zionsville, Indiana. This facility will be a multi-use / multi-purpose building supporting all of the dynamic functions required by the team, including but not limited to: office, event space, research + development, retail, automotive technology, light manufacturing, and truck storage.

The architecture embodies the dynamism of the team and its racing heritage. Simple massing paired with bold, clean lines creates a streamlined building that evokes speed and sophistication. A neutral, yet refined material palette injected with accents of their bold, metallic red speaks to the innovative, technological program found within the walls. The building is situated close to the main corner of the site (southwest) to maximize the visibility from 106th Street and beyond, while screening the back-of-house program and services such as employee parking and truck access. Moving around the building, the simplistic massing is honest to the program within, yet creates a dynamic, ever-changing form.

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| 02 // render southwest corner day | C101 // general information plan | P1A // pole light cutsheet |
| 03 // render southwest corner night | C102 // existing conditions plan | P1C // pedestrian pole light cutsheet |
| 04 // render main entrance | C103 // existing conditions plan | W1 // wall light cutsheet |
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| 06 // site plan | C202 // site plan | |
| 07 // floor plans | C301 // grading plan | |
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| 12 // signage wall-mounted (south) | C404 // storm plan + profile | |
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| | C501 // initial controls swppp | |
| | C502 // initial controls swppp | |
| | C503 // mass grading + construction swppp | |
| | C504 // mass grading + construction swppp | |
| | C505 // post construction swppp | |
| | C506 // post construction swppp | |
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| | C802 // general details | |
| | C803 // general details | |
| | C804 // general details | |
| | C901 // general specifications | |
| | L101 // landscape plan + details | |
| | L102 // landscape plan | |





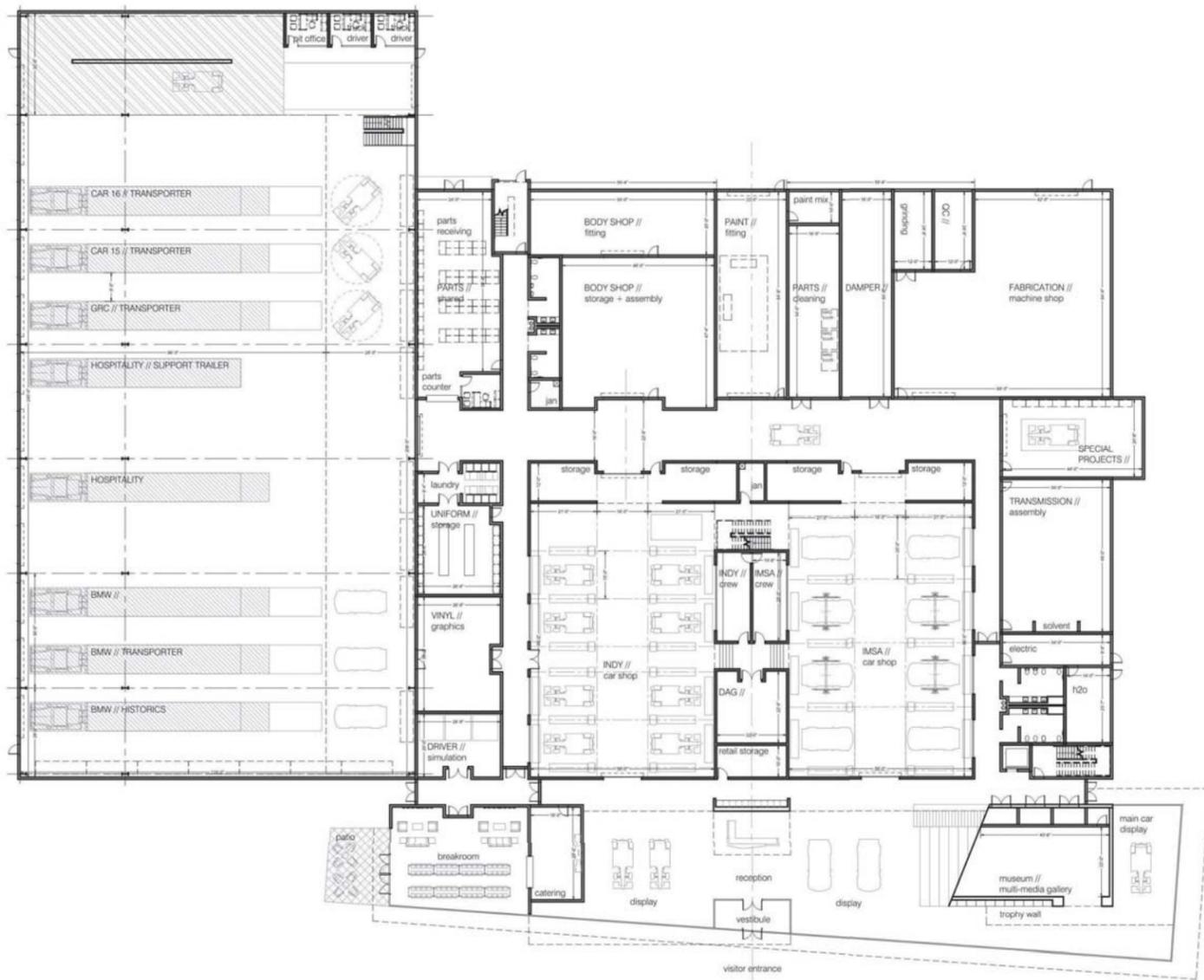




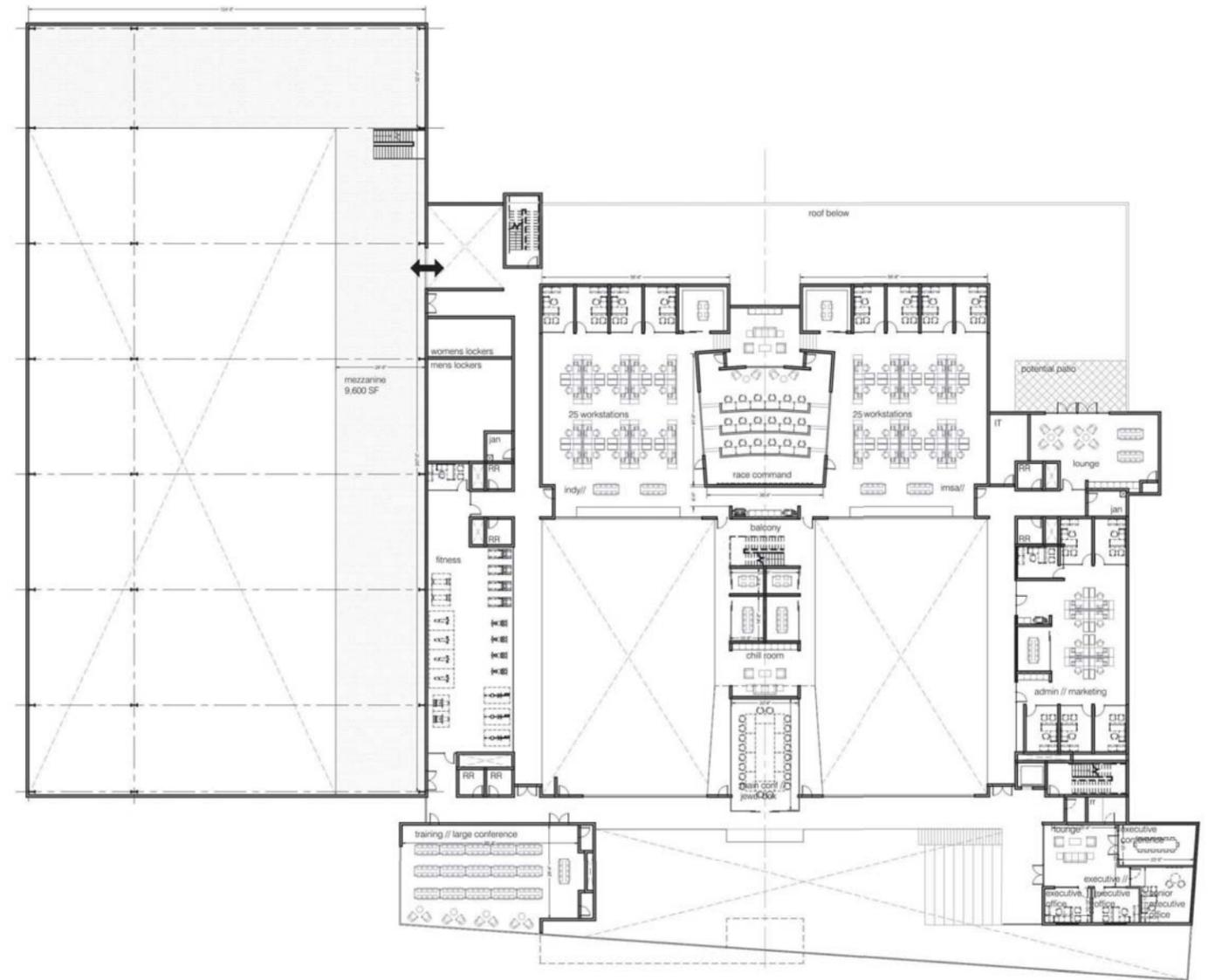




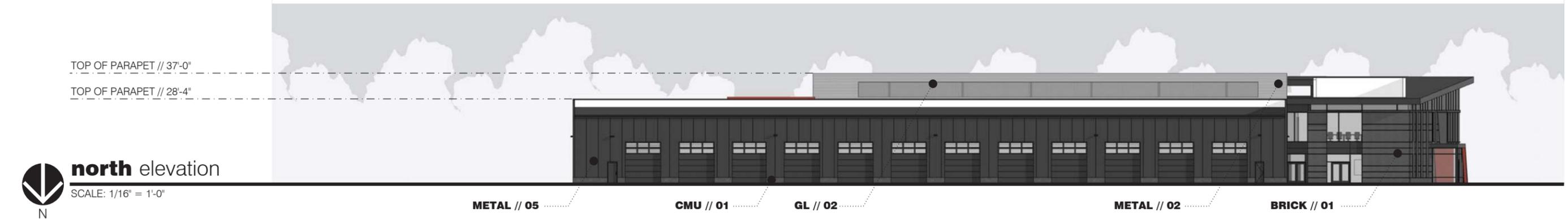
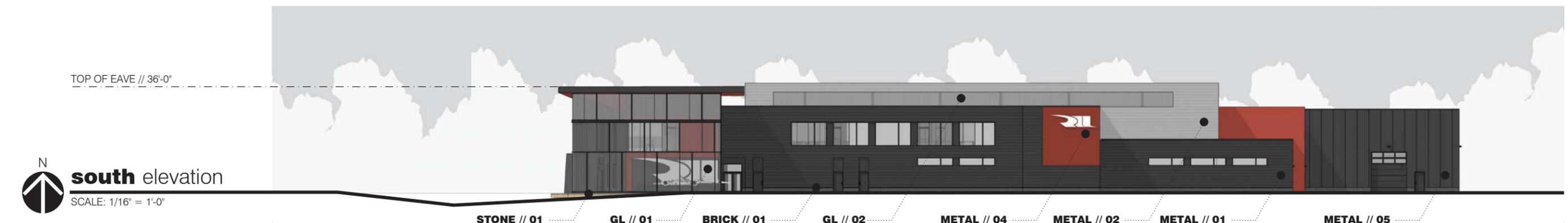
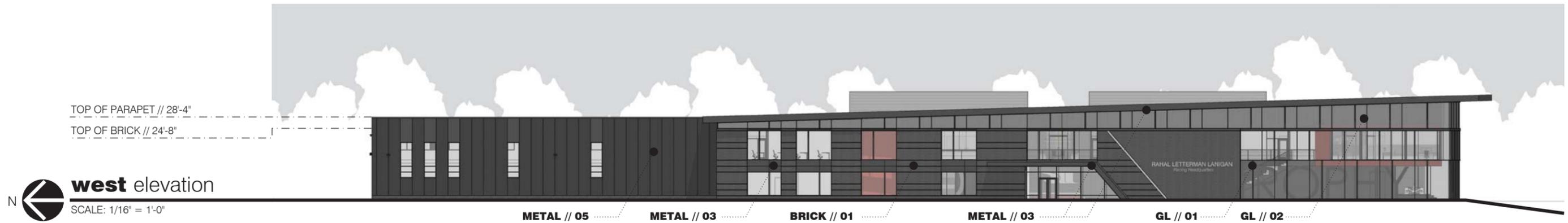
01 intent // security fencing

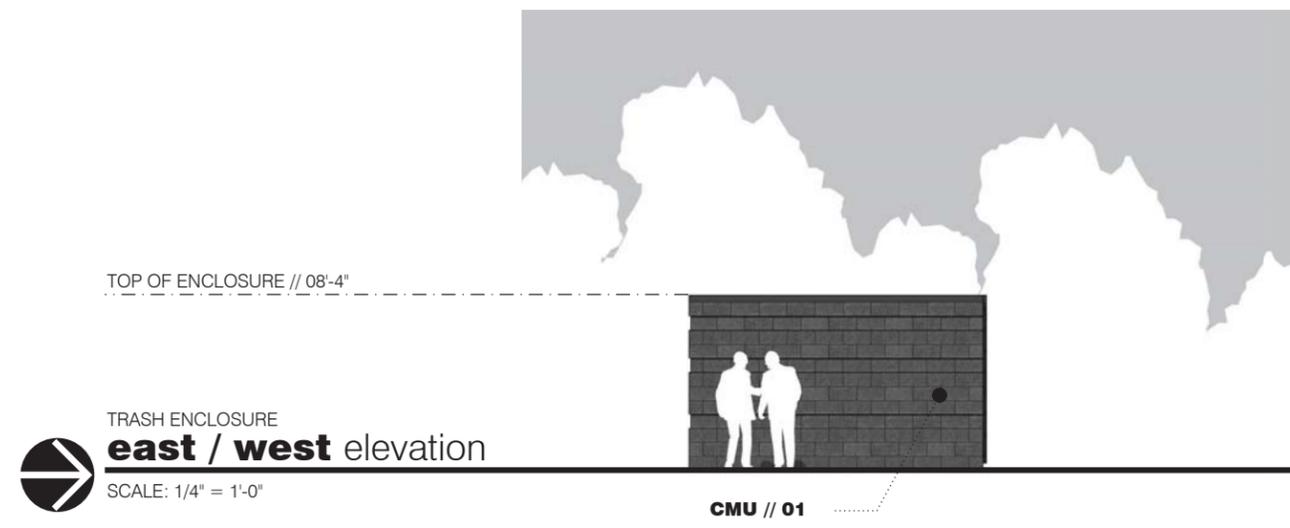
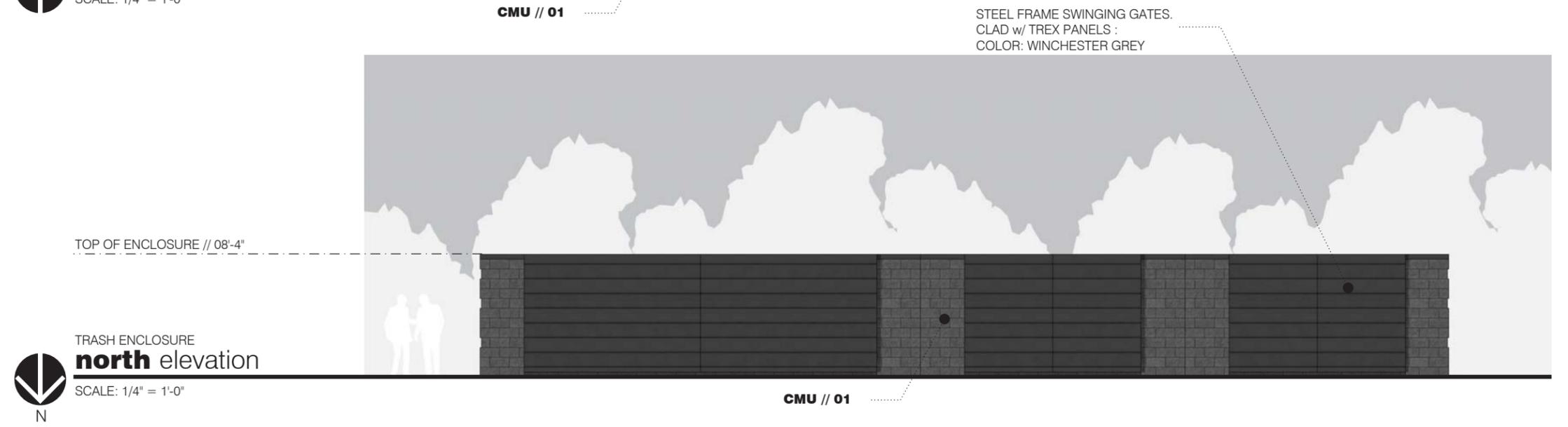
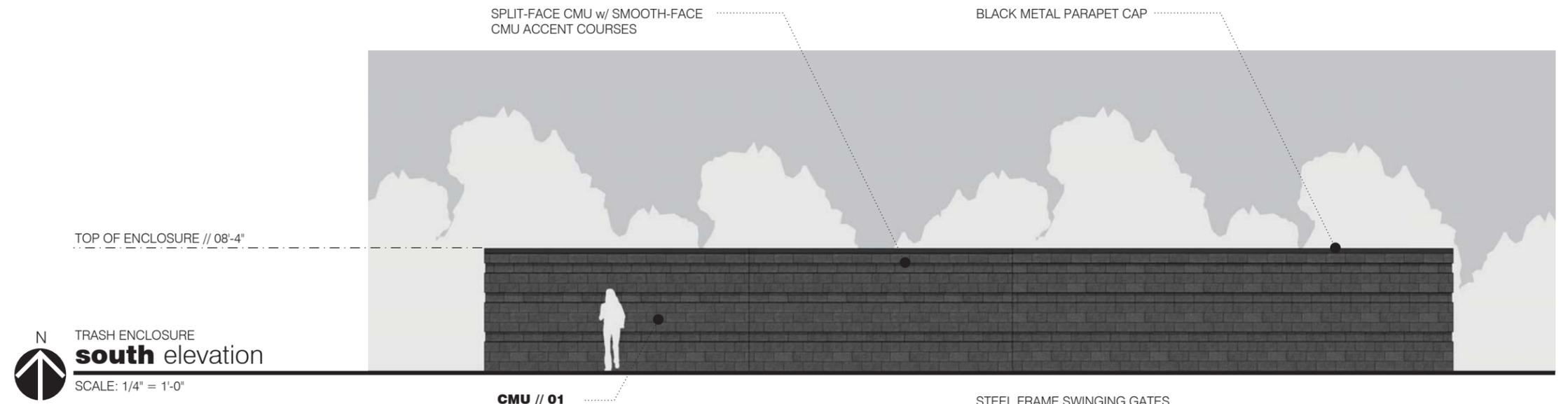


N
←
first floor plan
 NOT TO SCALE



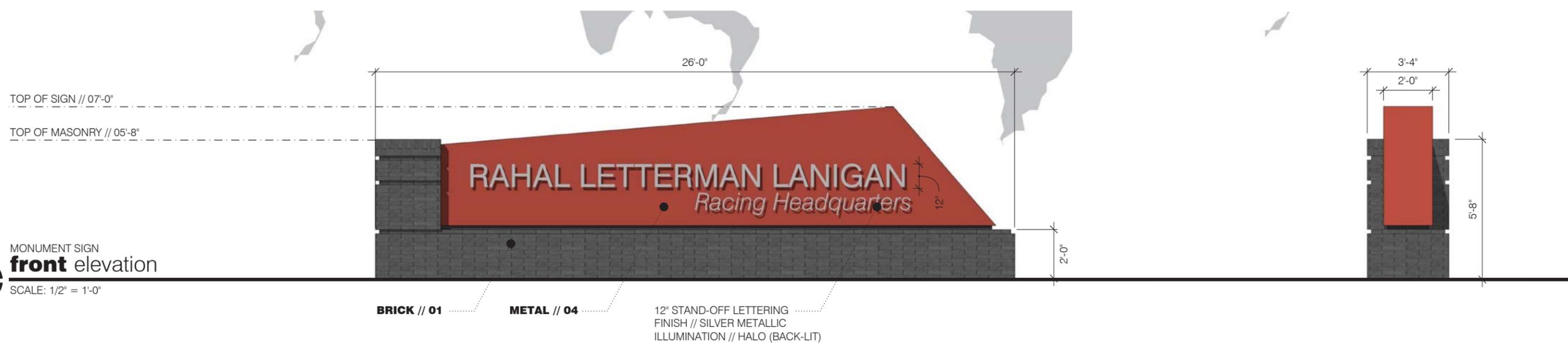
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←
second floor plan
 NOT TO SCALE







N  **night** render
NOT TO SCALE



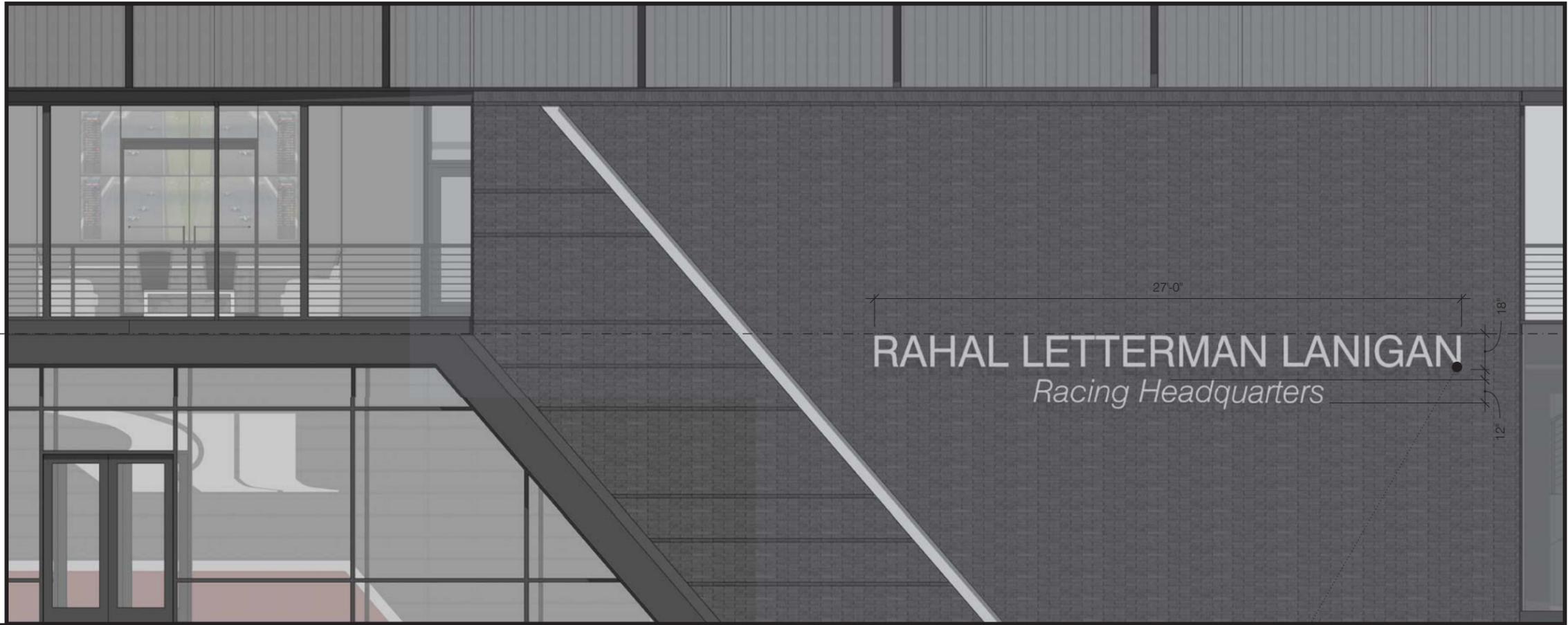
rahal letterman lanigan // racing headquarters

ZIONSVILLE DEVELOPMENT PLAN APPROVAL SUBMISSION | OCTOBER 19, 2020

© 2020 ARCHITECTURAL ALLIANCE



N **night** render
NOT TO SCALE



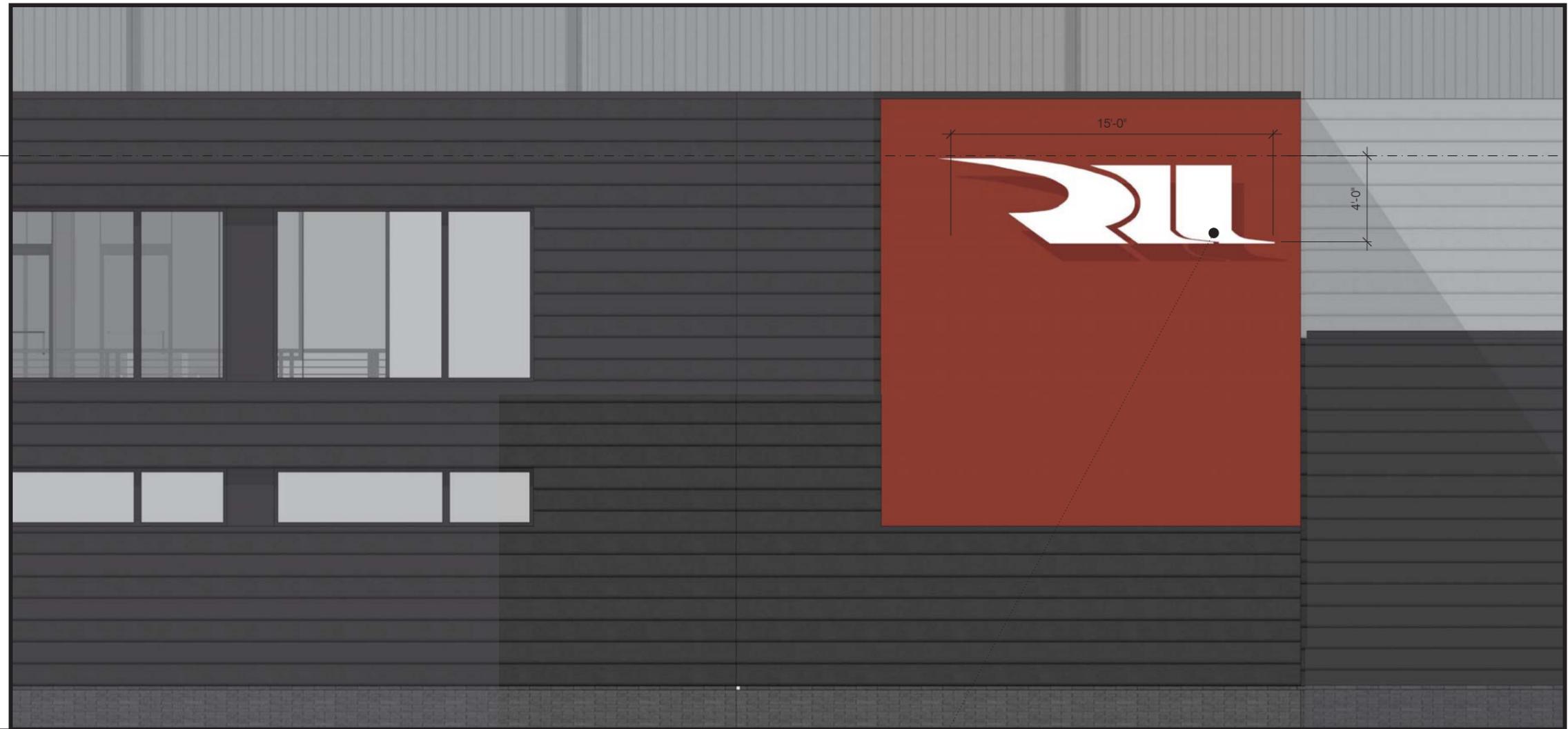
N **west** elevation
SCALE: 3/8" = 1'-0"

STAND-OFF LETTERING
FINISH // SILVER METALLIC
ILLUMINATION // HALO (BACK-LIT)



N
night render
NOT TO SCALE

TOP OF SIGNAGE // 26'-4"



N
south elevation
SCALE: 3/8" = 1'-0"

STAND-OFF LOGO GRAPHIC
FINISH // WHITE
ILLUMINATION // HALO (BACK-LIT)

rahal letterman lanigan // racing headquarters

ZIONSVILLE DEVELOPMENT PLAN APPROVAL SUBMISSION | OCTOBER 19, 2020

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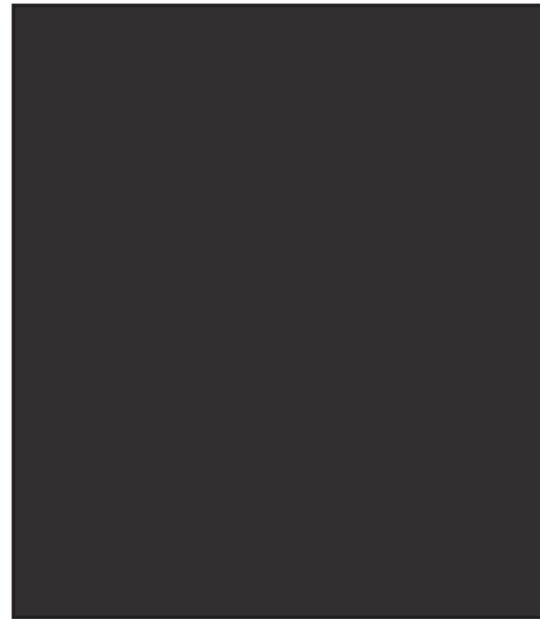
METAL // 01

manufacturer // DMI
product // 7.2 panel - WP72
color // matte black
install // horizontal



METAL // 02

manufacturer // DMI
product // 7.2 panel - WP72
color // metallic silver
install // horizontal



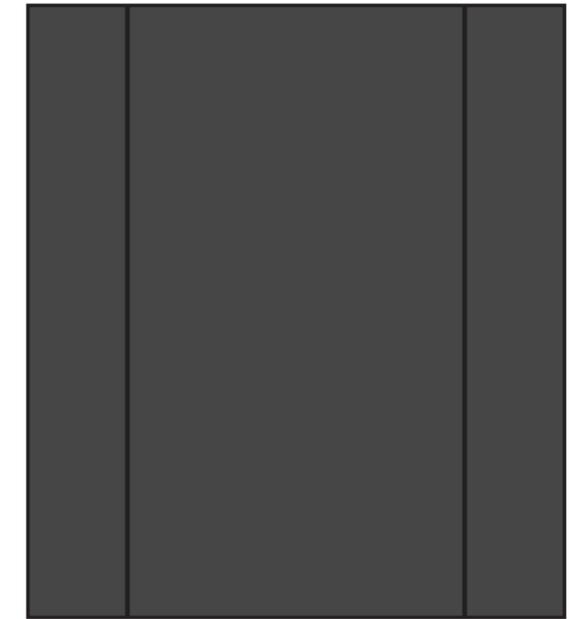
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manufacturer // alucobond
product // aluminum composite panel
color // tri-corn black
install // smooth



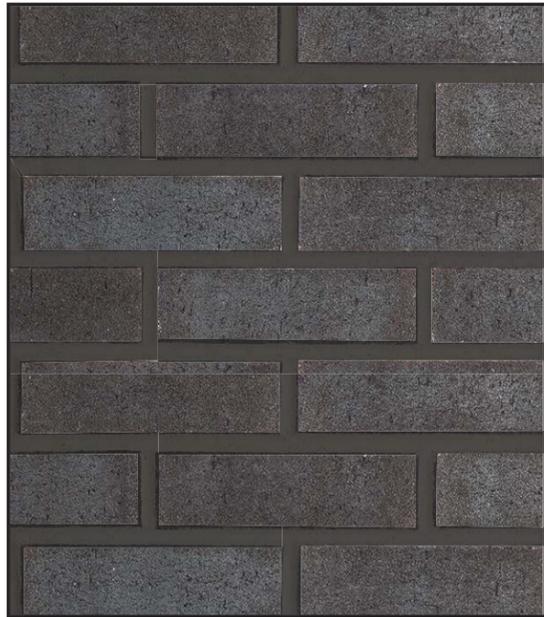
METAL // 04

manufacturer // alucobond
product // aluminum composite panel
color // brand red
install // smooth



METAL // 05

manufacturer // butler
product // insulated wall system
color // cool onyx black
install // flat



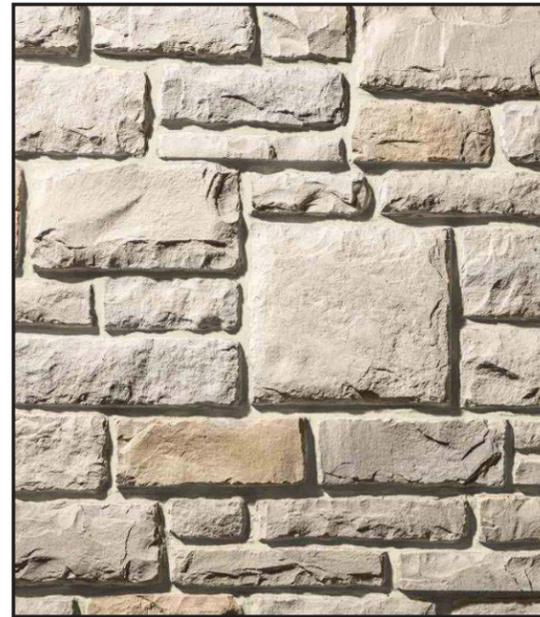
BRICK // 01

manufacturer // glen gery
product // face brick
color // carbon black
install // norman
mortar // SM800 black



CMU // 01

manufacturer // oberfields
product // concrete masonry unit
color // charcoal | integral color
install // split-face and smooth
mortar // SM800 black



STONE // 01

manufacturer // provia stone
product // stacked stone veneer
color // limestone
install // match development stone



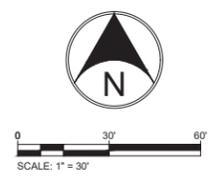
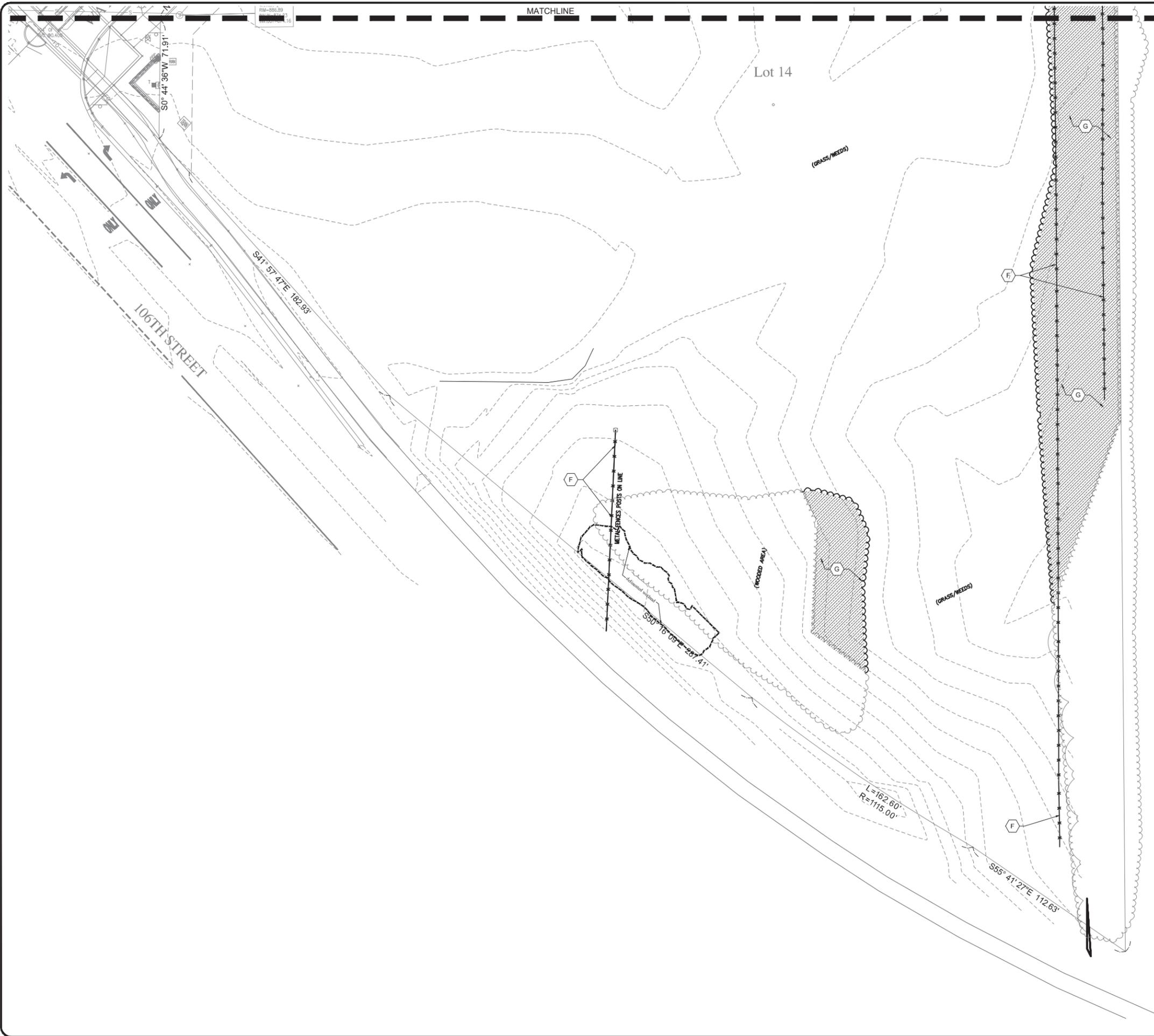
GL // 01

manufacturer // kawneer
product // storefront glazing system
color // black frame
install // insulated clear glazing



GL // 02

manufacturer // kawneer
product // storefront glazing system
color // black frame
install // insulated translucent glazing



- KEY NOTES:**
- A REMOVE EXISTING CURB/PAVEMENT
 - B PROTECT EX. STORM/SAN/UTILITY THROUGHOUT CONSTRUCTION
 - C SAW CUT CURB/PAVEMENT
 - D REMOVE EX. UTILITY, COORDINATE RELOCATION WITH SERVICE PROVIDER
 - E RELOCATE EXISTING SIGN. COORDINATE LOCATION WITH TOWN OF ZIONSVILLE STREET DEPARTMENT AND POLICE DEPARTMENT
 - F REMOVE EXISTING FENCE
 - G TREE CLEARING LIMITS

Fritz Engineering Services, LLC
 14020 Mississinewa Drive
 Carmel, Indiana 46033
 P: 317.324.8695 F: 317.324.8717
 www.Fritz-Eng.com
 ashton@Fritz-Eng.com



| REVISIONS AND ISSUES | DATE | BY |
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PROJECT TEAM:

RENIER CONSTRUCTION
 2164 Citygate Drive
 Columbus, Ohio 43219
 P: 614.866.4500 F: 614.866.0115
 www.Renier.com

RAHAL LETTERMAN LANGAN
 485 Southpointe Circle, Suite 900
 Brownsburg, Indiana 46112
 P: 317.858.3717 www.Rahal.com

archall
 49 E. 3rd Avenue
 Columbus, Ohio 43201
 P: 614.469.7500 www.archall.com

PROJECT: **RLL RACING HEADQUARTERS ZIONSVILLE**

PROJECT LOCATION:
 NE CORNER CREEK WAY AND 106TH ST.
 ZIONSVILLE, INDIANA 46077
 BOONE COUNTY
 SECTION, TOWNSHIP, RANGE:
 SW ¼, S1, T17N, R2E

CLIENT:
RENIER CONSTRUCTION
 2164 CITYGATE DRIVE
 COLUMBUS, OHIO 43219

PLAN DATE: **9/15/2020**

DESIGN: AF CHECK: AF DRAWN: RG

PROJECT NO.: **2008003**

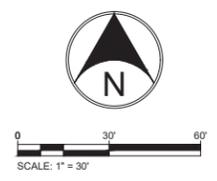
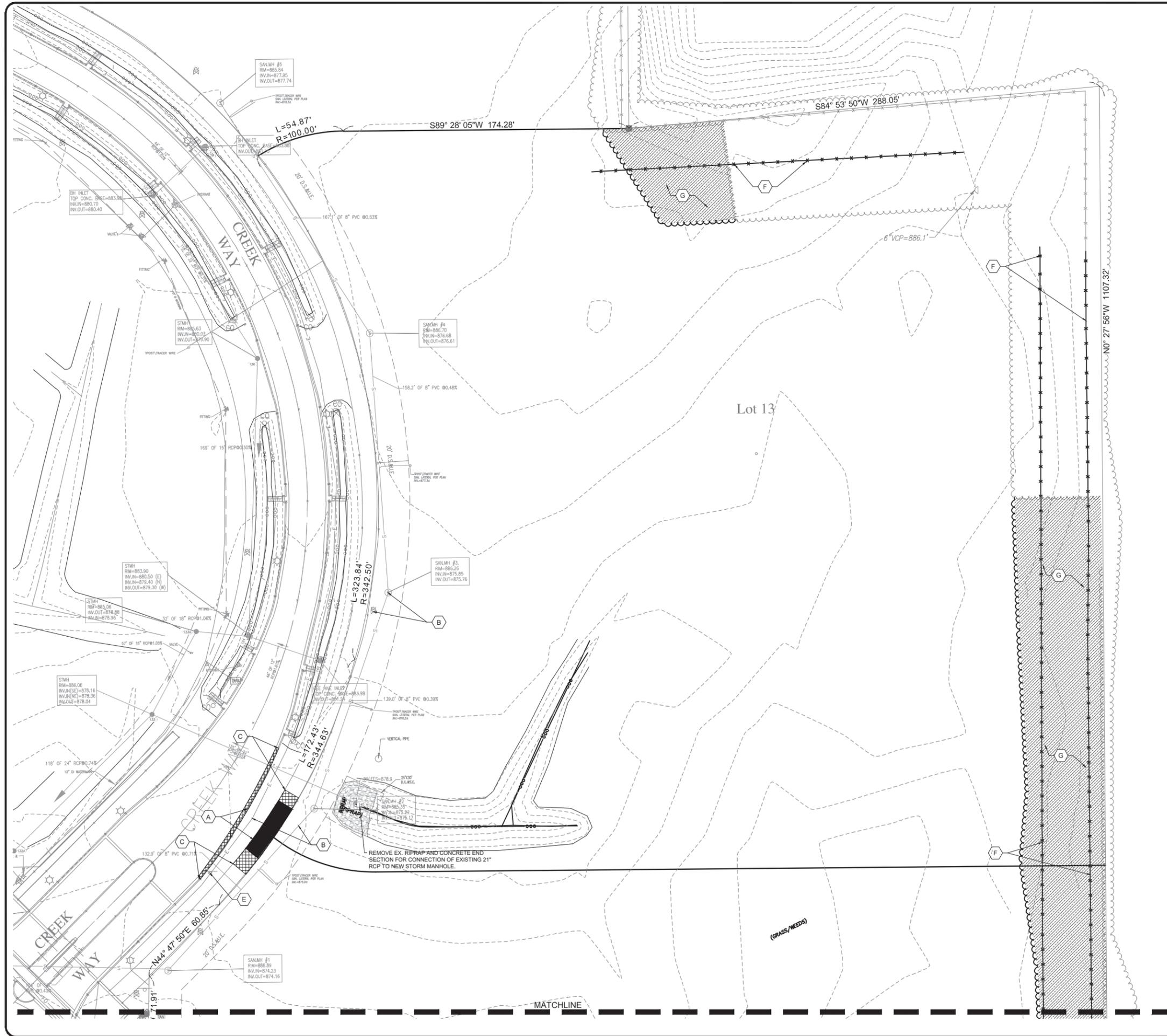
SHEET NAME: **EXISTING CONDITIONS PLAN**

SHEET NO.: **C102**

"IT'S THE LAW"

 Know what's below.
 Call before you dig.
 2 WORKING DAYS BEFORE YOU DIG.

F:\2020\2008003 - RLL - Headquarters_Zionsville\02 Civil\Plan\C102.dwg, C102_9/14/2020 6:13:00 PM, Ashton Fritz, DWG To PDF.pc3, ANSI full bleed D, 04.00, 12.00, 11.11



- KEY NOTES:**
- A REMOVE EXISTING CURB/PAVEMENT
 - B PROTECT EX. STORM/AN/UTILITY THROUGHOUT CONSTRUCTION
 - C SAW CUT CURB/PAVEMENT
 - D REMOVE EX. UTILITY, COORDINATE RELOCATION WITH SERVICE PROVIDER
 - E RELOCATE EXISTING SIGN. COORDINATE LOCATION WITH TOWN OF ZIONSVILLE STREET DEPARTMENT AND POLICE DEPARTMENT
 - F REMOVE EXISTING FENCE
 - G TREE CLEARING LIMITS

Fritz Engineering Services, LLC
 14020 Mississinewa Drive
 Carmel, Indiana 46033
 P: 317.324.8695 F: 317.324.8717
 www.Fritz-Eng.com
 ashton@Fritz-Eng.com

ASHTON / APPROVAL PENDING NOT FOR CONSTRUCTION

| REVISIONS AND ISSUES | DATE | BY |
|----------------------|------|----|
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PROJECT TEAM:

RENIER CONSTRUCTION
 2164 Citygate Drive
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PROJECT:
RLL RACING HEADQUARTERS ZIONSVILLE

PROJECT LOCATION:
 NE CORNER CREEK WAY AND 106TH ST.
 ZIONSVILLE, INDIANA 46077
 BOONE COUNTY

SECTION, TOWNSHIP, RANGE:
 SW 1/4, S1, T17N, R2E

CLIENT:
RENIER CONSTRUCTION

2164 CITYGATE DRIVE
 COLUMBUS, OHIO 43219

PLAN DATE:
 9/15/2020

DESIGN: AF CHECK: AF DRAWN: KG

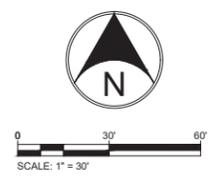
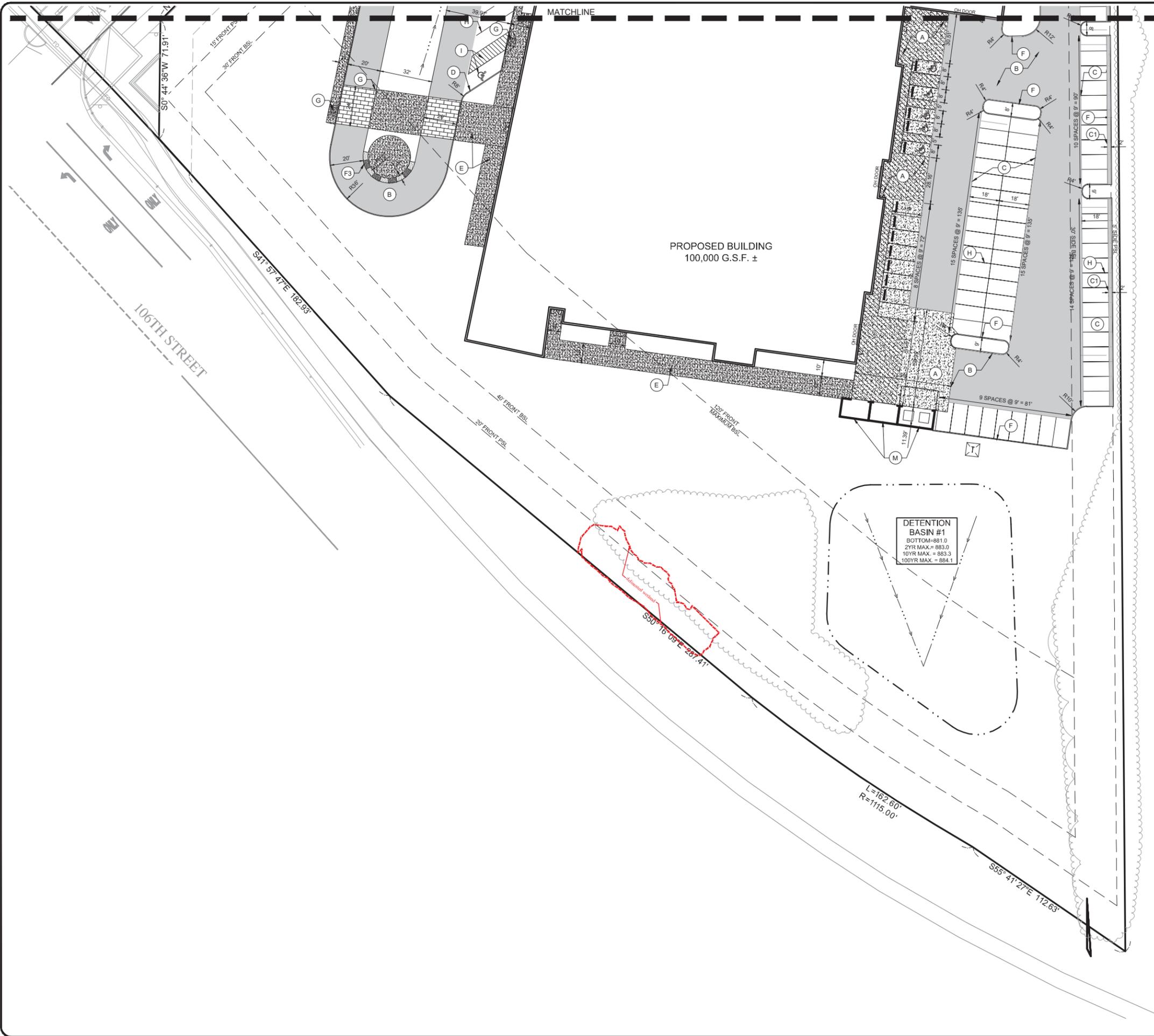
PROJECT NO.:
 2008003

SHEET NAME:
 EXISTING CONDITIONS PLAN

SHEET NO.:
 C103

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RELOCATE EXISTING SIGN. COORDINATE LOCATION WITH TOWN OF ZIONSVILLE STREET DEPARTMENT AND POLICE DEPARTMENT



- KEY NOTES:** (XX)
- A CONCRETE PAVEMENT
 - B HEAVY DUTY ASPHALT PAVEMENT
 - C LIGHT DUTY ASPHALT PAVEMENT
 - C1 PERVIOUS PAVEMENT
 - C2 RIGHT OF WAY PAVEMENT
 - D COMBINED CONCRETE CURB & WALK
 - E CONCRETE WALK
 - F 6" CONCRETE CURB
 - F2 ROLL CURB
 - F3 3' TRACK CHICANE CURB (ALTERNATE PAINT, RED AND WHITE)
 - G ADA RAMP
 - H 4" WHITE PAVEMENT STRIPING, TYP.
 - I ADA BLUE PAVEMENT STRIPING, TYP.
 - J PAVEMENT MARKING (AS SHOWN)
 - K MATCH EXISTING PAVEMENT, CURB, OR WALK
 - L LANDSCAPE AREA (REF. LANDSCAPE PLAN)
 - M DUMPSTER ENCLOSURE (REF. ARCHITECTURAL PLAN)
 - N CURB RAMP (PER INDOT DETAIL)
 - O DEPRESSED CURB AND GUTTER
 - P BICYCLE PARKING (U-SHAPED, BLACK THERMOPLASTIC POWDER COATED)
 - Q FLUSH CURB / CURB TAPER
 - R MONUMENT SIGN (REF. SIGNAGE PLANS)
 - S FLAG POLE (CONCORD AMERICAN MODEL, 1525C51 WITH #GCA2508 GROUND TUBE AND 10" SQUARE BASEPLATE (OR APPROVED EQUAL), INSTALL PER MANUFACTURERS RECOMMENDATIONS, REF. DETAILS C801)
 - T PATIO (REF. ARCHITECTURAL PLAN)
- NOTES:

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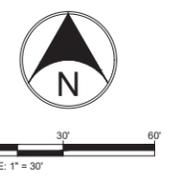
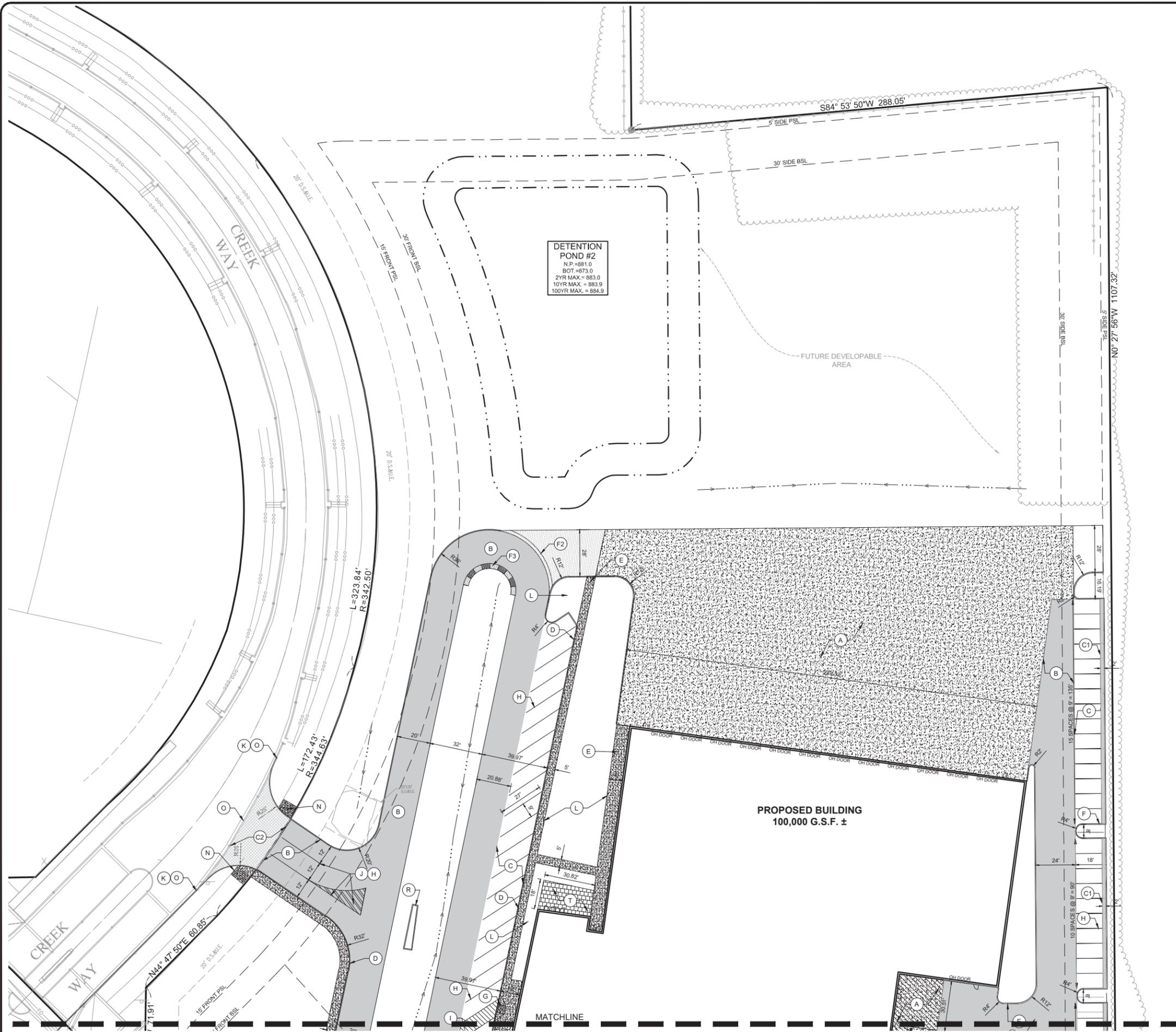
PROJECT NO.: **2008003**

SHEET NAME: **SITE PLAN**

SHEET NO.: **C201**



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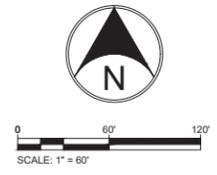
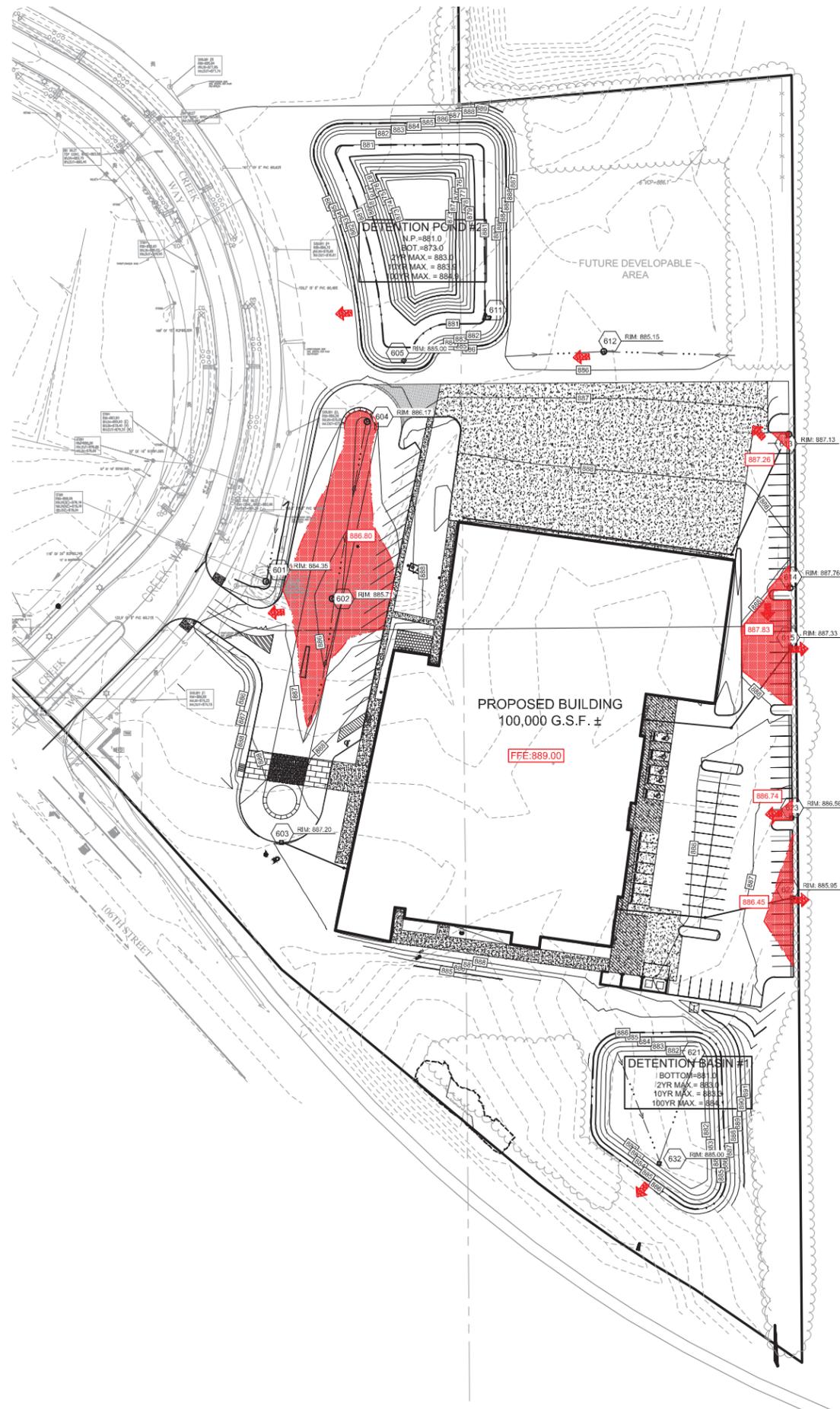
PROJECT NO.:
2008003

SHEET NAME:
SITE PLAN

SHEET NO.:
C202



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NOTES:

1. DENOTES PARKING LOT FLOOD STORAGE. REF. C503 FOR EMERGENCY FLOOD ROUTING. XXXX
2. FLOOD ROUTING PATH →

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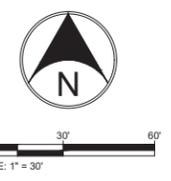
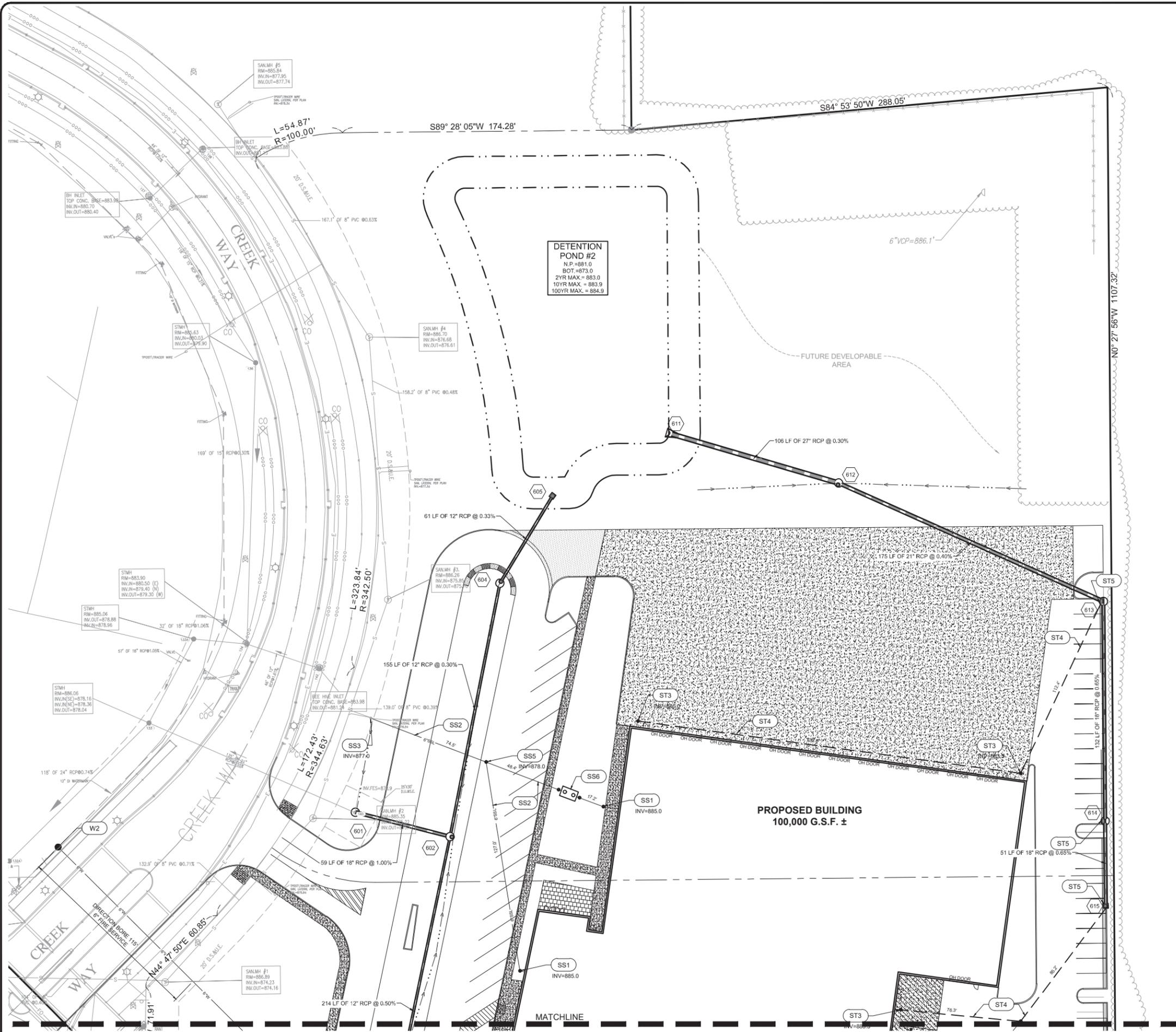
SHEET NAME:
EMERGENCY FLOOD ROUTING DIAGRAM

SHEET NO.:
C303

"IT'S THE LAW"

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KEY NOTES: XX

- E1 ELECTRIC - NEW TRANSFORMER, COORD. NEW SERVICE LINE WITH MEP PLANS AND POWER COMPANY.
- E2 ELECTRIC - SECONDARY CONDUIT, COORD. WITH MEP PLANS FOR SIZE AND CABLE REQUIRED.
- E3 ELECTRIC - COORDINATE POWER DISTRIBUTION ONSITE WITH MEPSITE ELECTRICAL PLAN.
- G1 GAS SERVICE LINE, COORD. SIZE & LOCATION WITH MEP PLANS AND GAS CO.
- G2 GAS METER, COORD WITH MEP PLANS & GAS CO.
- SS1 SANITARY - BLDG. CLEANOUT PER ZIONSVILLE SANITARY DETAILS, SEE PLAN FOR INVERTS
- SS2 SANITARY - 6" SDR 26 PVC LATERAL @ 1.04% MIN.
- SS3 SANITARY - CONNECT LATERAL TO SANITARY LATERAL STUB PER ZIONSVILLE SANITARY STANDARDS. CONTRACTOR SHALL FIELD VERIFY EXISTING LATERAL STUB LOCATION AND INVERT ELEVATION PRIOR TO CONSTRUCTION.
- SS4 SANITARY - NEW SANITARY MANHOLE (4XX)
- SS5 SANITARY - CLEANOUT PER ZIONSVILLE SANITARY STANDARDS AND DETAILS. SEE PLAN FOR INVERTS.
- SS6 SANITARY - OIL WATER SEPARATOR PER ZIONSVILLE DETAIL.
- SS7 SANITARY - EXISTING SANITARY SEWER STRUCTURE/MAIN TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- ST1 STORM - PR. STRUCTURE, REF. STORM STRUCTURE TABLE (6XX)
- ST2 STORM - 20 LF 6" PERFORATED UNDERDRAIN AT 1% TOWARDS INLET
- ST3 STORM - ROOFDRAIN CLEANOUT, REF. MEP PLANS.
- ST4 STORM - 10" HDPE N12 ROOF DRAIN PIPE AT 1.0%. SEE PLAN FOR LENGTH. CONNECT TO DOWNSTREAM DRAINAGE STRUCTURE AS ILLUSTRATED.
- ST5 STORM - CONNECT PERVIOUS PAVEMENT UNDERDRAIN TO STORM STRUCTURE
- W1 WATER - PR. 2" DOMESTIC SERVICE VALVE, (2) 1" METERS. COORDINATE SIZE/LOCATION WITH MEP PLANS. REF. DETAIL ON THIS SHEET.
- W2 WATER - PR. 6" TAPPING SLEEVE, VALVE AND BOX ON EXISTING WATER MAIN.
- W3 WATER - PR. 6" PRIVATE FIRE SERVICE LINE
- W4 WATER - POST INDICATOR VALVE, COORDINATE TYPE AND LOCATION WITH ZIONSVILLE FIRE DEPARTMENT.
- W5 WATER - REMOTE FIRE DEPARTMENT CONNECTION. COORDINATE EXACT LOCATION WITH ZIONSVILLE FIRE DEPARTMENT. COORDINATE SIZE OF LINE WITH MEP.
- W6 WATER - 6" TEE, VALVE AND PRIVATE FIRE HYDRANT. COORD. EXACT LOCATION, COLOR AND NOZZLE SIZE/TYPED WITH CITIZENS AND ZIONSVILLE FIRE DEPARTMENT.
- UX UTILITY CROSSING, APPROX. LOCATION SHOWN. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL EX. UTILITIES WITHIN AREA OF WORK PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS FOUND.

NOTES:
 1. UTILITY CROSSINGS UNDER EX. PAVEMENT SHALL BE BORED OR JACK & BORED. OPEN CUTS SHALL BE AVOIDED.
 2.

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PROJECT: **RLR RACING HEADQUARTERS ZIONSVILLE**

PROJECT LOCATION: **NE CORNER CREEK WAY AND 106TH ST. ZIONSVILLE, INDIANA 46077 BOONE COUNTY**

SECTION, TOWNSHIP, RANGE: **SW 1/4, S1, T17N, R2E**

CLIENT: **RENIER CONSTRUCTION**

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 COLUMBUS, OHIO 43219

PLAN DATE: **9/15/2020**

DESIGN: AF CHECK: AF DRAWN: RG

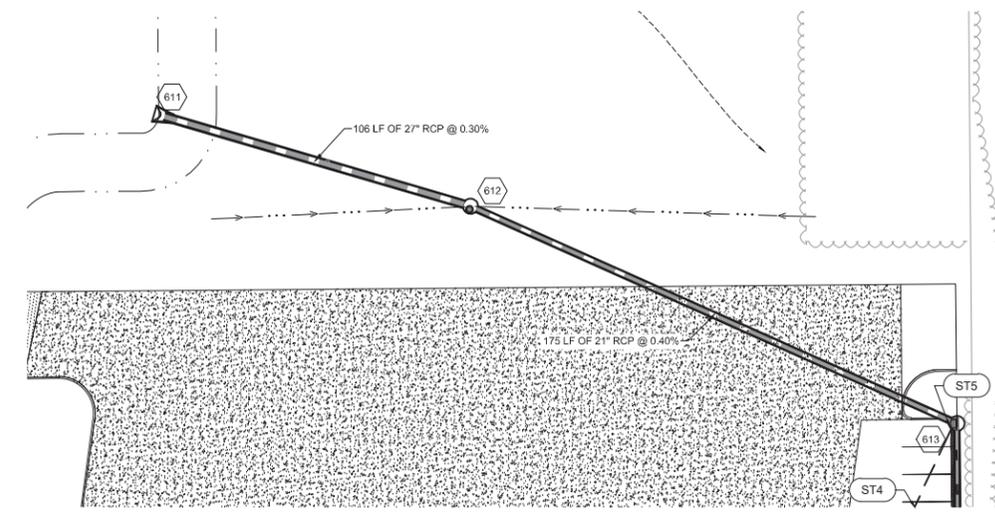
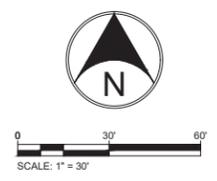
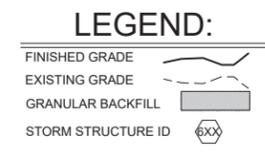
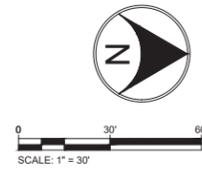
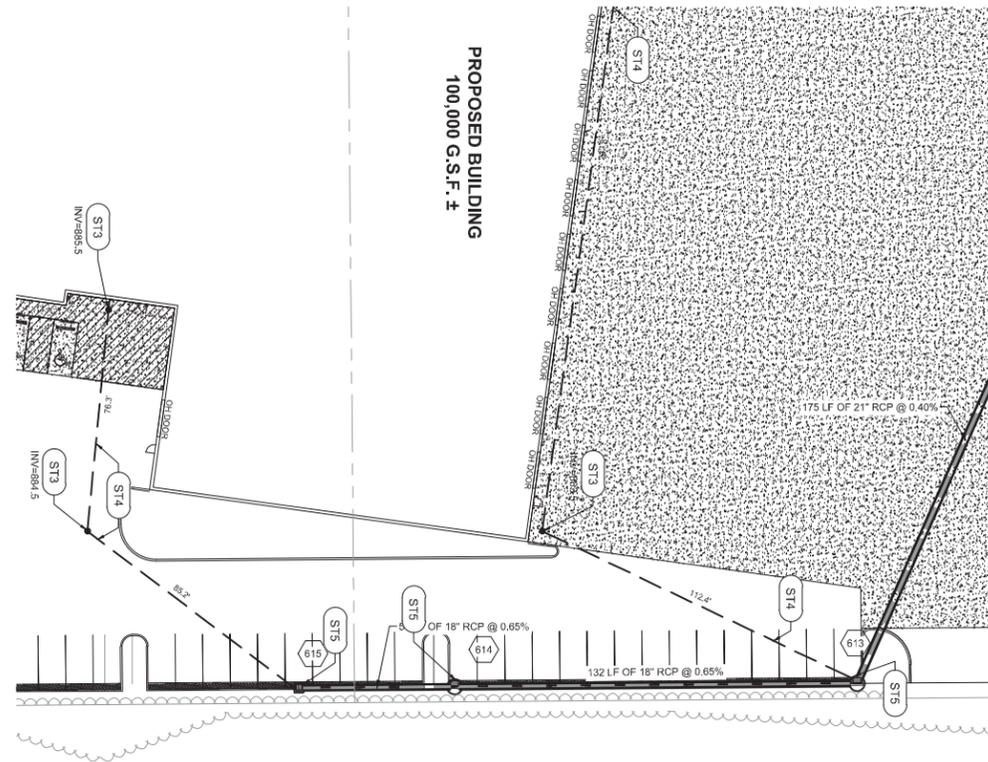
PROJECT NO.: **2008003**

SHEET NAME: **SITE UTILITY PLAN**

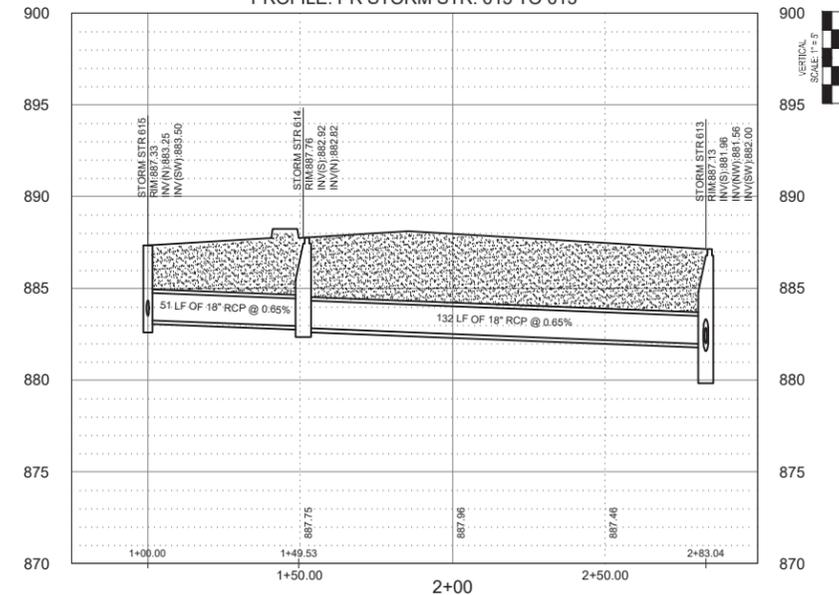
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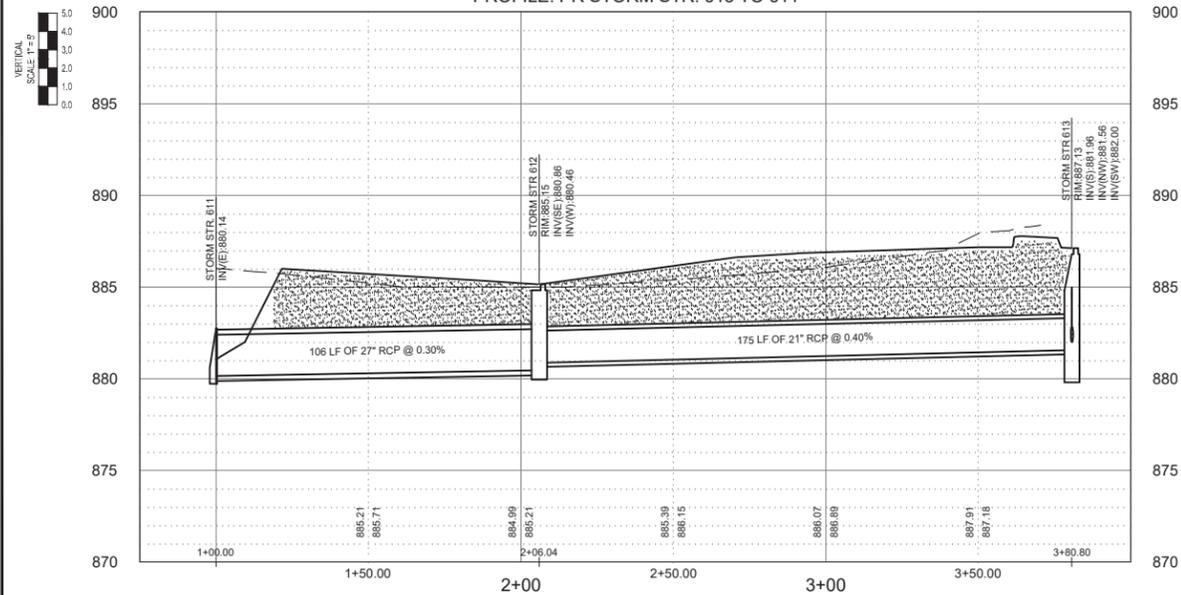
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PROFILE: PR STORM STR. 615 TO 613



PROFILE: PR STORM STR. 613 TO 611



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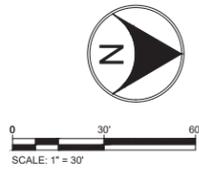
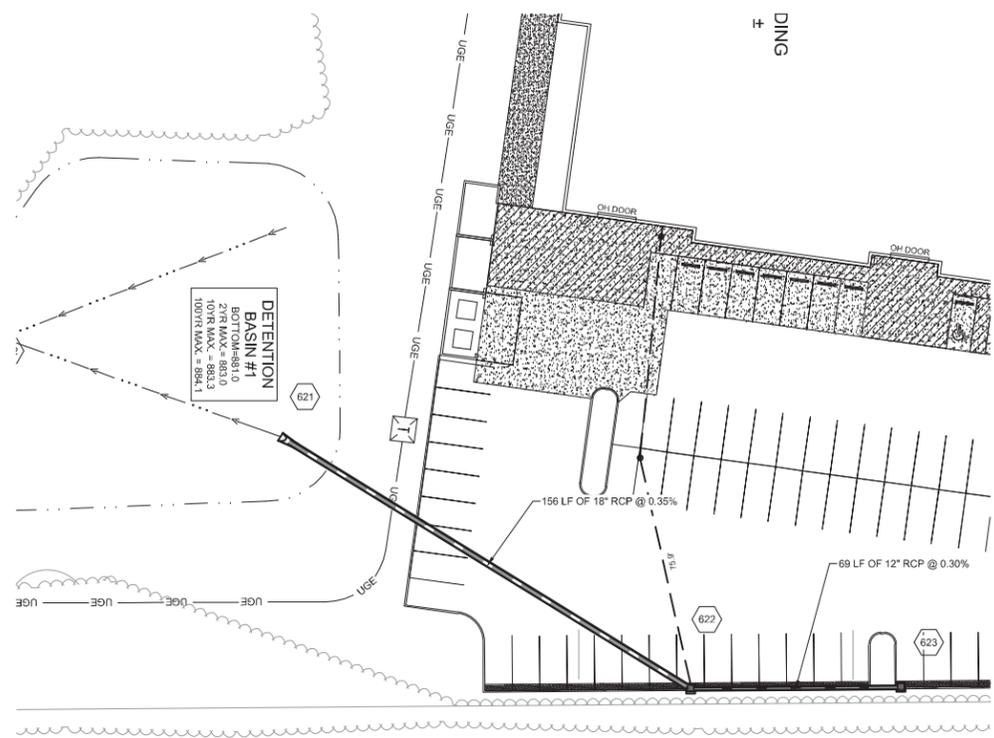
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PROJECT NO.:
2008003

SHEET NAME:
STORM PLAN & PROFILE

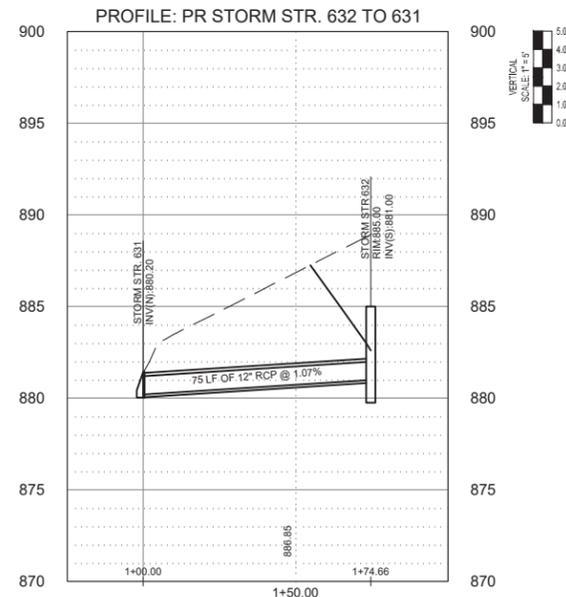
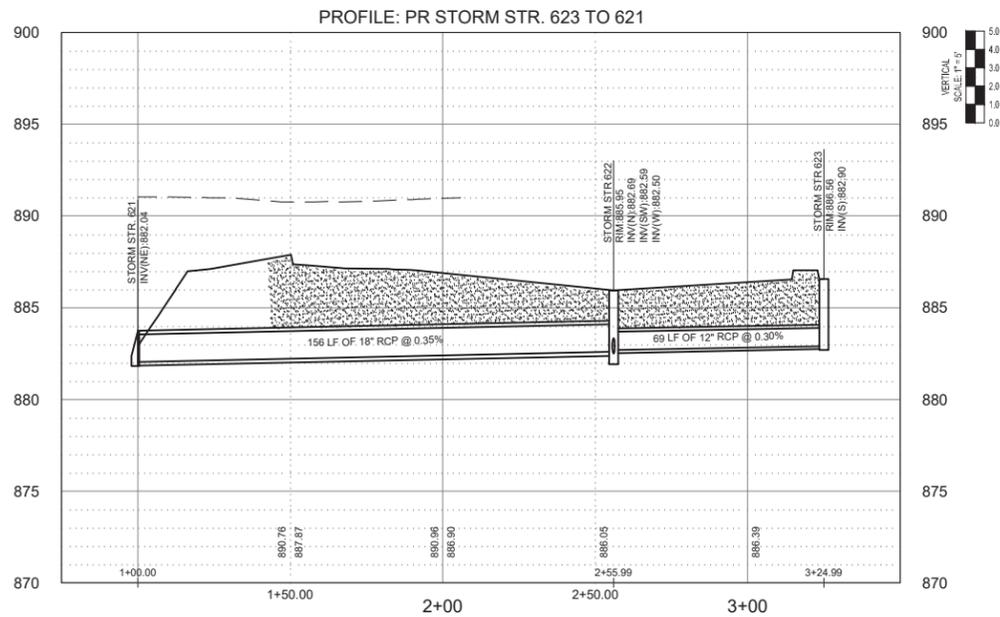
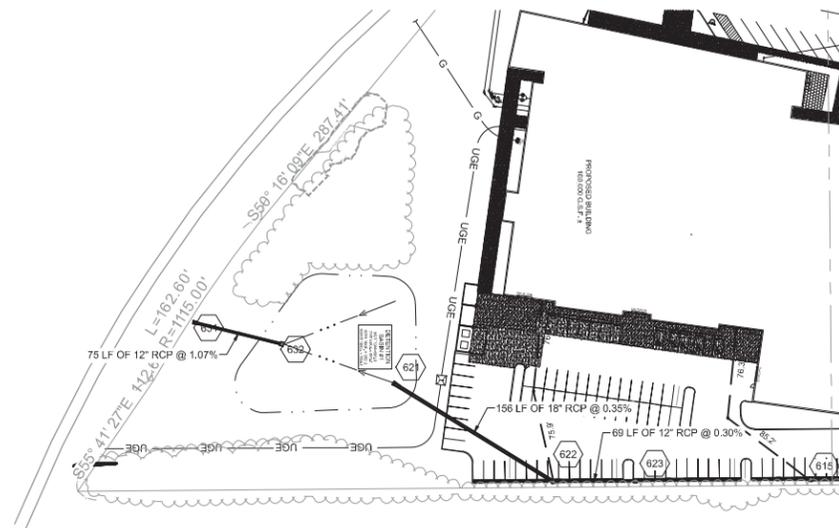
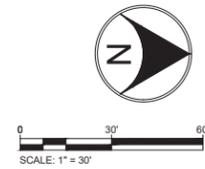
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LEGEND:

- FINISHED GRADE
- EXISTING GRADE
- GRANULAR BACKFILL
- STORM STRUCTURE ID



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SECTION, TOWNSHIP, RANGE: **SW 1/4, S1, T17N, R2E**

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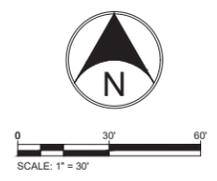
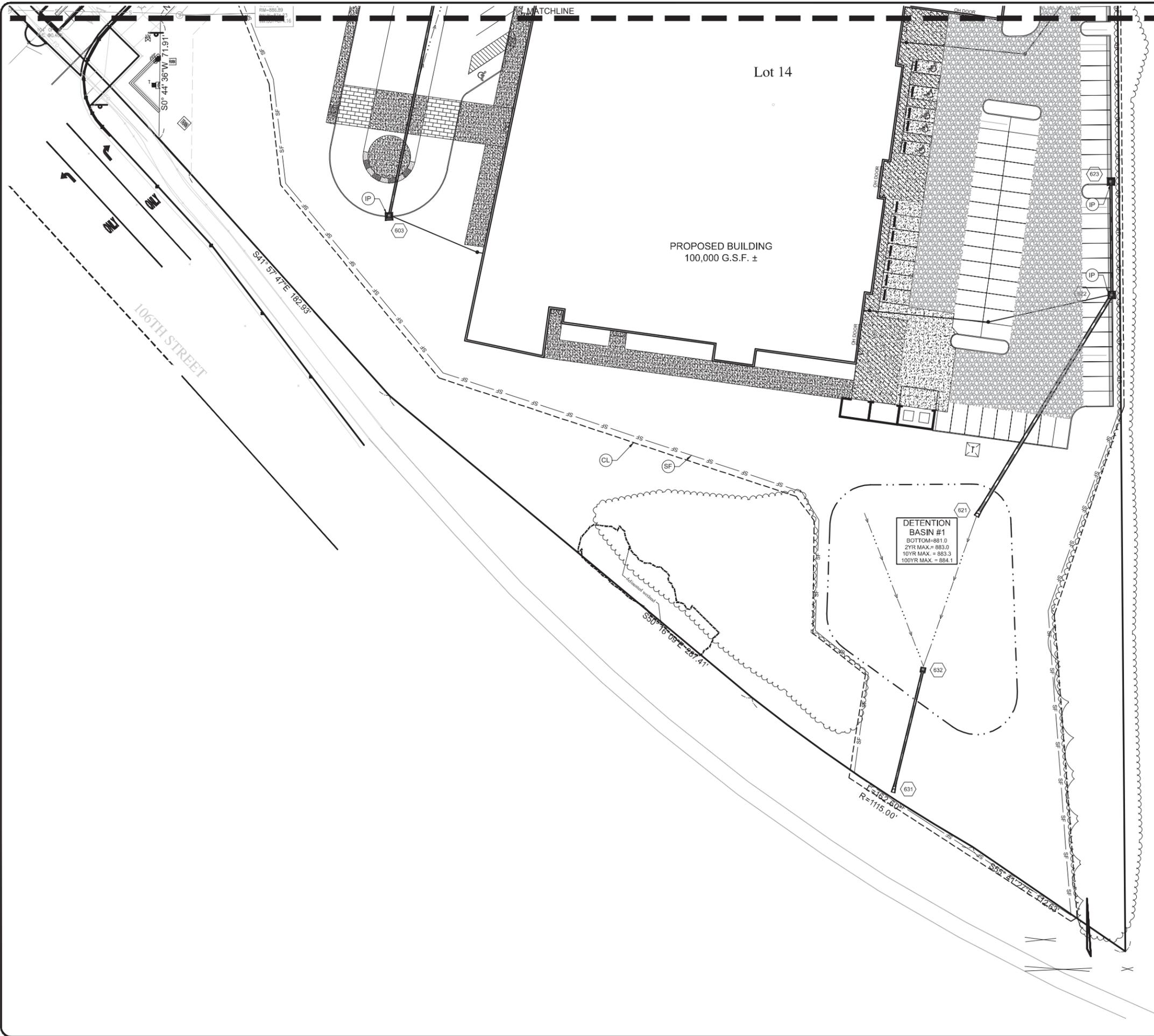
PROJECT NO.: **2008003**

SHEET NAME: **STORM PLAN & PROFILE**

SHEET NO.: **C404**



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- KEY NOTES:**
- IP DROP INLET PROTECTION
 - CE CONSTRUCTION ENTRANCE
 - PS PERMANENT SEEDING
 - TS TEMPORARY SEEDING
 - EB EROSION CONTROL BLANKET WITH PERMANENT SEEDING
 - SS SOIL STOCKPILE
 - SF SILT FENCE
 - CL CONSTRUCTION LIMITS
 - CW CONCRETE WASHOUT
 - SUB ASPHALT PAVEMENT SUBBASE

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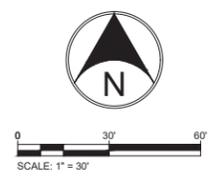
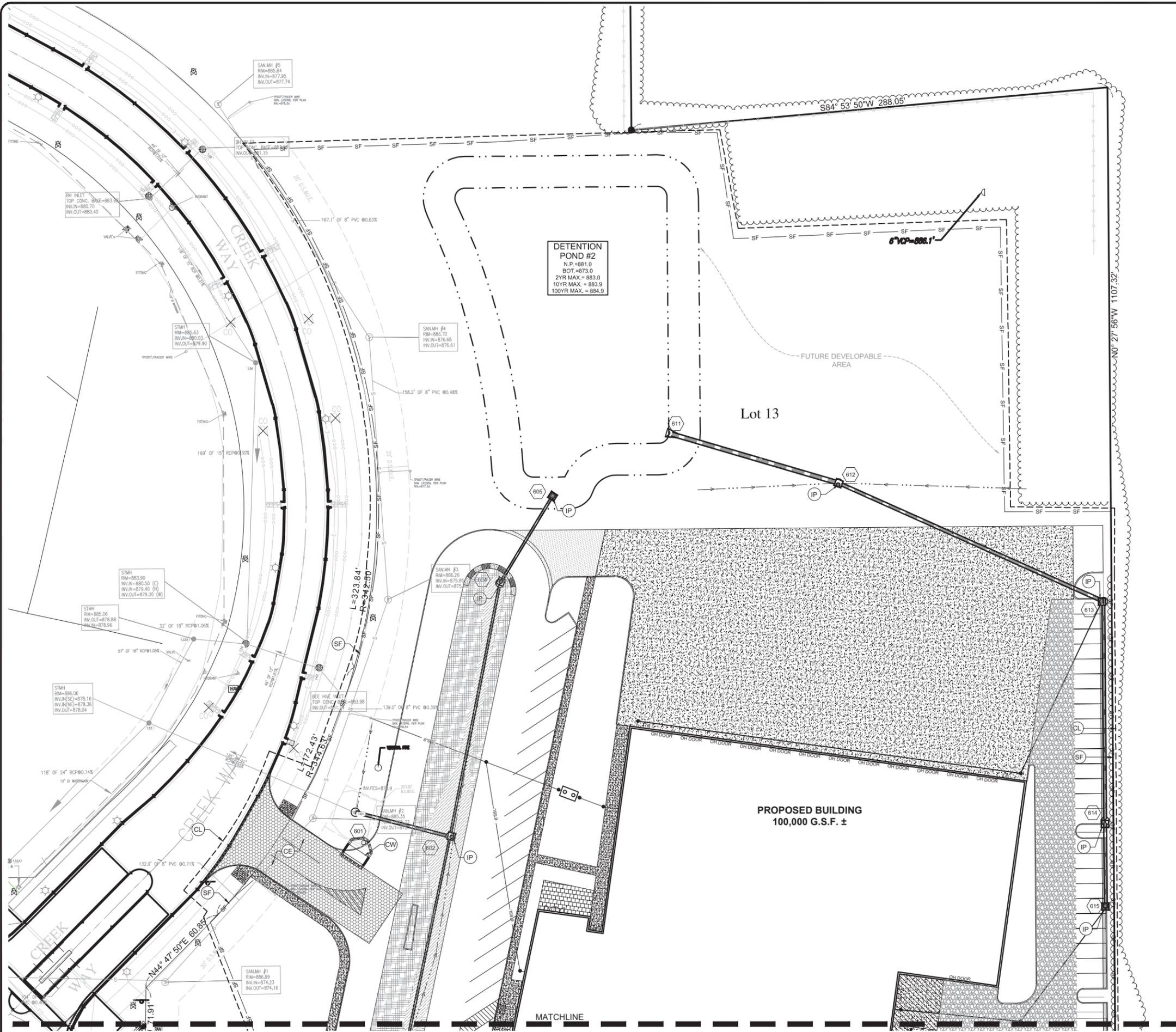
PROJECT NO.:
2008003

SHEET NAME:
MASS GRADING & CONSTRUCTION SWPPP

SHEET NO.:
C503



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KEY NOTES:

- IP DROP INLET PROTECTION
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PROJECT TEAM:

RENIER CONSTRUCTION
 2164 Citygate Drive
 Columbus, Ohio 43219
 P: 614.866.4590 F: 614.866.0115
 www.Renier.com

RAHAL LETTERMAN LANGAN
 485 Southpointe Circle, Suite 900
 Brownsburg, Indiana 46112
 P: 317.858.3717 www.Rahal.com

archall
 49 E. 3rd Avenue
 Columbus, Ohio 43201
 P: 614.469.7500 www.archall.com

PROJECT:
RLL RACING HEADQUARTERS ZIONSVILLE

PROJECT LOCATION:
 NE CORNER CREEK WAY AND 106TH ST.
 ZIONSVILLE, INDIANA 46077
 BOONE COUNTY
 SECTION, TOWNSHIP, RANGE:
 SW 1/4, S1, T17N, R2E

CLIENT:
RENIER CONSTRUCTION

2164 CITYGATE DRIVE
 COLUMBUS, OHIO 43219

PLAN DATE:
9/15/2020

DESIGN: AF CHECK: AF DRAWN: KG

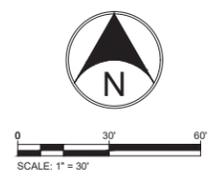
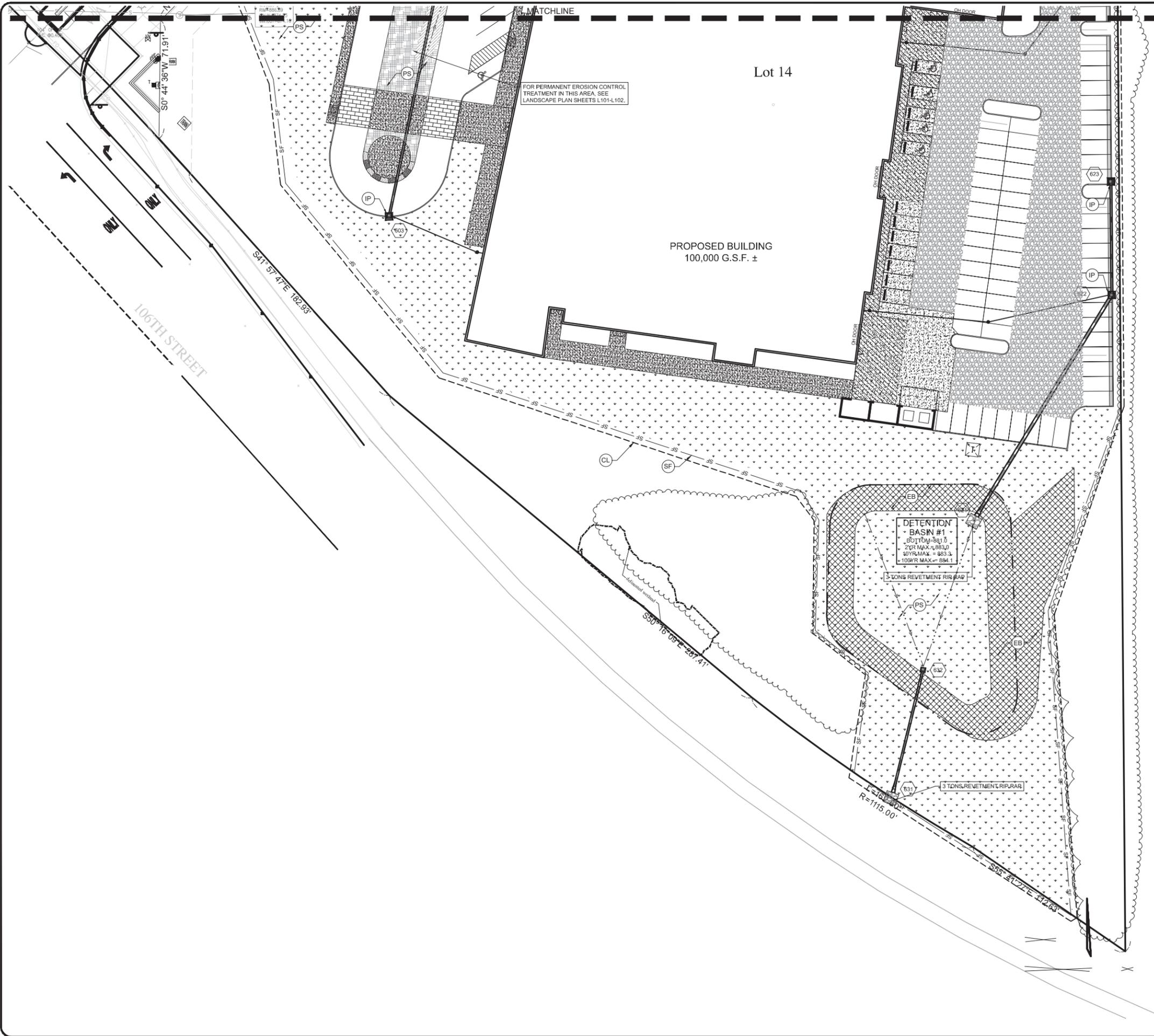
PROJECT NO.:
2008003

SHEET NAME:
MASS GRADING & CONSTRUCTION SWPPP

SHEET NO.:
C504



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- KEY NOTES:**
- IP DROP INLET PROTECTION
 - CE CONSTRUCTION ENTRANCE
 - PS PERMANENT SEEDING
 - TS TEMPORARY SEEDING
 - EB EROSION CONTROL BLANKET WITH PERMANENT SEEDING
 - SS SOIL STOCKPILE
 - SF SILT FENCE
 - CL CONSTRUCTION LIMITS
 - CW CONCRETE WASHOUT
 - SUB ASPHALT PAVEMENT SUBBASE

Fritz Engineering Services, LLC
 14020 Mississinewa Drive
 Camel, Indiana 46033
 P: 317.324.8695 F: 317.324.8717
 www.Fritz-Eng.com
 ashton@Fritz-Eng.com



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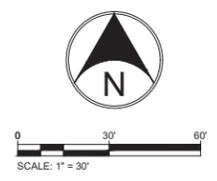
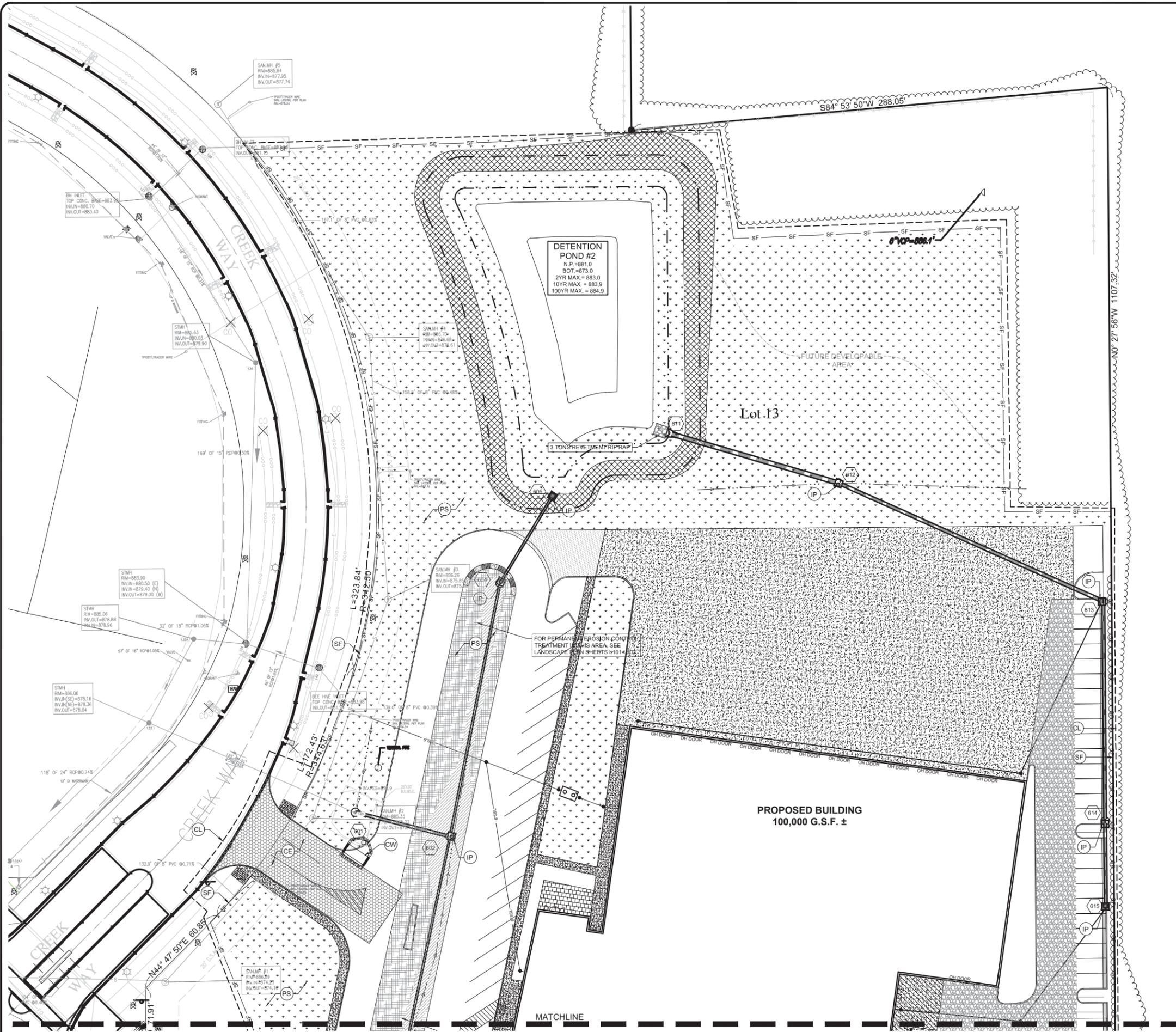
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SHEET NAME:
POST CONSTRUCTION SWPPP

SHEET NO.:
C505



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 SHEET NAME:
POST CONSTRUCTION SWPPP
 SHEET NO.:
C506



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SECTION A - CONSTRUCTION PLAN ELEMENTS

- A1 PLAN INDEX - SEE BELOW
A2 11"x17" PLAT - ATTACHED
A3 PROJECT NARRATIVE - THIS IS A PROPOSED 10.4 ACRE RACING HEADQUARTERS OFFICE BUILDING COMPLEX INCLUDING A BUILDING SURFACE PARKING LOT, AND OPEN SPACE GRASS AREA
A4 VICINITY MAP - SEE SHEET C109
A5 LEGAL DESCRIPTION - PART OF SW 1/4 OF SECTION 1 - TOWNSHIP 17N - RANGE 2E, EAGLE TOWNSHIP, BOONE COUNTY, INDIANA. LAT: 39°56'31" N LONG: 86°14'58" W
A6 LOCATION OF ALL SITE IMPROVEMENTS - SEE SITE PLAN SHEET C201-C202
A7 HYDROLOGIC UNIT CODE (14 DIGIT) - 05120201120080
A8 NOTATION OF ANY STATE OR FEDERAL WATER QUALITY PERMITS - 401 WATER QUALITY CERTIFICATION (IDEM) - NONE
SECTION 404 PERMIT (USACE): NONE
CONSTRUCTION IN A FLOODWAY (INDNR): NONE
GENERAL PERMIT RULE FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (IDEM RULE 5): APPLIED FOR
SPECIFIC POINTS WHERE STORMWATER DISCHARGE LEAVES SITE - STORMWATER WILL BE COLLECTED AND CONVEYED BY A PROPOSED STORM SEWER SYSTEM AND ENTER PERVIOUS PAVEMENT, STORM INLETS, AN INFILTRATION TRENCH AND THEN ONE OF TWO DOWNSTREAM DETENTION BASINS BEFORE DISCHARGING INTO THE EXISTING CREEKSIDE CORPORATE PARK DRAINAGE SYSTEM OR THE 106TH STREET BOX CULVERT TO THE SOUTH
A10 LOCATION AND NAME OF WETLANDS, LAKES AND WATER COURSES ON AND ADJACENT TO SITE - AN EXISTING WETLAND IS LOCATED ONSITE NEAR THE 106TH STREET RIGHT OF WAY. THERE ARE NO PROPOSED IMPACTS TO THE EXISTING WETLAND.
A11 IDENTIFICATION OF ALL RECEIVING WATERS - EAGLE CREEK LONGBRANCH/IRISHMAN RUN
A12 IDENTIFICATION OF POTENTIAL DISCHARGE TO GROUND WATER - NONE KNOWN
A13 100 YEAR FLOODPLAINS, FLOODWAYS, AND FLOODWAY FRINGES - NONE LOCATED WITHIN OR ADJACENT TO THE SITE.
A14 DISCHARGE
10 YEAR EX - 7.9 CFS
10 YEAR FR - 11.3 CFS
A15 ADJACENT LAND USES
NORTH: VACANT COMMERCIAL OUTLOT/DEVELOPMENT
SOUTH: 106TH STREET
EAST: COMMERCIAL PARK - BENNETT TECHNOLOGY PARK
WEST: CREEK WAY, VACANT COMMERCIAL OUTLOT
A16 CONSTRUCTION LIMITS - STORMWATER POLLUTION PREVENTION PLAN, SHEET C501-C506
A17 IDENTIFICATION OF EXISTING VEGETATIVE COVER - SEE EXISTING CONDITIONS PLAN C102-C103
A18 SOILS MAP W/ SOIL DESCRIPTIONS AND LIMITATIONS - SEE GENERAL INFORMATION PLAN C101
A19 LOCATIONS, SIZE & DIMENSIONS OF PROPOSED STORMWATER SYSTEMS - SEE GRADING AND UTILITY PLAN SHEETS C301-C405
A20 PLANS FOR OFF-SITE CONSTRUCTION ACTIVITIES - NONE
A21 LOCATIONS OF PROPOSED SOIL STOCKPILES AND/OR BORROW/DISPOSAL AREAS - SEE SHEET C503-C504
A22 EXISTING SITE TOPOGRAPHY - SEE EXISTING CONDITIONS PLAN C102-C103
A23 PROPOSED FINAL TOPOGRAPHY - SEE GRADING PLAN SHEETS C301-C302
A24 INDIVIDUAL IN CHARGE OF SWPPP IMPLEMENTATION - SEE SHEET C501

SECTION B - SWPP - CONSTRUCTION PHASE

- B1 DESCRIPTION OF POTENTIAL POLLUTANT SOURCES - POTENTIAL POLLUTANTS FROM CONSTRUCTION ACTIVITY SUCH AS OIL, GREASE, ANTIFREEZE, GASOLINE AND DIESEL FUEL FROM CONSTRUCTION EQUIPMENT; SOIL EROSION; FERTILIZER AND PESTICIDES FROM LANDSCAPING
B2 SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:
1. SEE SHEET C501 FOR CONSTRUCTION SEQUENCING.
B3 CONSTRUCTION ENTRANCE - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C501 FOR LOCATION AND SHEET C504 FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
B4 SEDIMENT CONTROL PLAN FOR SHEET FLOW AREAS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C501, C502, C503.
B5 SEDIMENT CONTROL PLAN FOR CONCENTRATED FLOW AREAS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C501-C502
B6 STORM SEWER INLET PROTECTION MEASURE LOCATIONS AND SPECS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C502 FOR LOCATIONS AND SHEET C504 FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
B7 RUNOFF CONTROL MEASURES - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C502 FOR LOCATIONS AND SHEET C504 FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
B8 STORM WATER OUTLET PROTECTION SPECS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C501 FOR LOCATIONS AND SHEET C502 FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
B9 GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEETS C501 FOR LOCATIONS AND SHEETS C504 FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
B10 STORMWATER QUALITY CONSTRUCTION DETAILS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEETS C502, C503 FOR DETAILS AND C503 FOR SPECIFICATIONS.
B11 TEMPORARY SURFACE STABILIZATION METHOD FOR EACH SEASON - SEE SEASONAL SOIL PROTECTION CHART SHEET C502
B12 PERMANENT SURFACE STABILIZATIONS - SEE STORMWATER POLLUTION PREVENTION PLAN SHEET C503 AND L101 FOR LOCATIONS AND SHEETS C504 AND L101 FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
B13 MATERIAL HANDLING AND SPILL PREVENTION PLAN:
PURPOSE:
THE INTENTION OF THIS SPILL PREVENTION, CONTROL AND COUNTERMEASURES (SPCC) IS TO ESTABLISH THE PROCEDURES AND EQUIPMENT REQUIRED TO PREVENT THE DISCHARGE OF OIL AND HAZARDOUS SUBSTANCES IN QUANTITIES THAT VIOLATE APPLICABLE WATER QUALITY STANDARDS, CAUSE A SHEEN UPON OR DISCOLORATION OF THE SURFACE OF NAVIGABLE WATERS OR ADJOINING SHORELINES, OR CAUSE SLUDGE OR EMULSION TO BE DEPOSITED BENEATH THE SURFACE OF THE WATER OR ADJOINING SHORELINES. THE PLAN ALSO ESTABLISHES THE ACTIVITIES REQUIRED TO MITIGATE SUCH DISCHARGES (I.E., COUNTERMEASURES) SHOULD THEY OCCUR.
DEFINITIONS:
POLLUTANT: MEANS POLLUTANT OF ANY KIND OR IN ANY FORM, INCLUDING BUT NOT LIMITED TO SEDIMENT, PAINT, CLEANING AGENTS, CONCRETE WASHOUT, PESTICIDES, NUTRIENTS, TRASH, HYDRAULIC FLUIDS, FUEL, OIL, PETROLEUM, FUEL OIL, SLUDGE, OIL REFUSE, AND OIL MIXED WITH WASTES OTHER THAN DREGGED SOIL.
DISCHARGE:
INCLUDES BUT IS NOT LIMITED TO, ANY SPILLING, LEAKING, PUMPING, POURING, EMITTING, EMPTYING, OR DUMPING.
NAVIGABLE WATERS:
MEANS ALL WATERS OF THE UNITED STATES THAT ARE CONNECTED WITH A NAVIGABLE STREAM, LAKE, OR SEA. [NOTE: THIS DEFINITION IS USUALLY INTERPRETED TO MEAN ANY WASTEWATER(EVEN NORMALLY DRY WASH OR STORM SEWER) THAT EVENTUALLY DRAINS INTO A NAVIGABLE STREAM].
PLAN REVIEW AND AMENDMENTS:
THIS PLAN SHALL BE REVIEWED AND/OR AMENDED, IF NECESSARY, WHENEVER THERE IS A CHANGE IN THE DESIGN OF THE SITE, CONSTRUCTION, OPERATION, OR MAINTENANCE WHICH MATERIALLY AFFECTS THE SITES' POTENTIAL FOR THE DISCHARGE OF REGULATED MATERIAL.
PREDICTION OF POTENTIAL SPILLS
1. NEAREST NAVIGABLE WATER: EAGLE CREEK
2. POSSIBLE SPILL SOURCES (DURING AND POST CONSTRUCTION): VEHICULAR SOURCES SUCH AS LEAKING FUEL OR OIL, BRAKE FLUID, GREASE, ANTIFREEZE, CONSTRUCTION TRASH AND DEBRIS, BIOLOGICAL AGENTS FOUND IN TRASH AND DEBRIS, FERTILIZERS, HOUSEHOLD ITEMS INCLUDING BUT NOT LIMITED TO CLEANING AGENTS, CHEMICALS, PAINT, HERBICIDES AND PESTICIDES.
3. GROUNDWATER CONTAMINATION: THIS FACILITY MAINTAINS NO ABOVE GROUND OR UNDER GROUND STORAGE TANKS. THEREFORE, IT IS FELT THAT THERE IS LITTLE OR NO POSSIBILITY OF POST CONSTRUCTION GROUNDWATER CONTAMINATION.
ALERT PROCEDURES FOR SPILLS:
1. ANY PERSONNEL OBSERVING A SPILL WILL IMMEDIATELY INSTIGATE THE FOLLOWING PROCEDURE:
a.) DIALING "911" FROM ANY TELEPHONE.
b.) NOTIFY THE APPROPRIATE EMERGENCY PERSONNEL.
2. THE EMERGENCY COORDINATOR WILL THEN TAKE THE FOLLOWING ACTIONS:
a.) BARRICADE THE AREA ALLOWING NO VEHICLES TO ENTER OR LEAVE THE SPILL ZONE.
b.) NOTIFY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF EMERGENCY RESPONSE BY CALLING THE APPROPRIATE TELEPHONE NUMBER.
OFFICE: 317-233-7745
TOLL FREE: 800-233-7745
ALSO THE NATIONAL RESPONSE CENTER AT 800-424-8802 AND PROVIDE THE FOLLOWING INSTRUCTIONS:
-TIME OF OBSERVATION OF THE SPILL
-LOCATION OF THE SPILL
-IDENTITY OF MATERIAL SPILLED
-PROBABLE SOURCE OF THE SPILL
-PROBABLE TIME OF THE SPILL
-VOLUME OF THE SPILL AND DURATION
-PRESENT AND ANTICIPATED MOVEMENT OF THE SPILL
-WEATHER CONDITIONS
-PERSONNEL AT THE SCENE
-ACTION INITIATED BY PERSONNEL
c.) NOTIFY THE ZIONSVILLE FIRE DEPARTMENT PHONE: 9-1-1
d.) NOTIFY THE BOONE COUNTY SWCD OFFICE (765) 482-6355
e.) NOTIFY THE MS4 DEPARTMENT OF ZIONSVILLE STORMWATER DEPARTMENT (317) 873-4544
f.) NOTIFY THE ZIONSVILLE POLICE DEPARTMENT PHONE: 9-1-1
g.) NOTIFY WASTE RECOVERY CONTRACTOR, MAINTENANCE PERSONNEL OR OTHER CONTRACTUAL PERSONNEL AS NECESSARY FOR CLEANUP.
h.) COORDINATE AND MONITOR CLEANUP UNTIL THE SITUATION HAS BEEN STABILIZED AND ALL SPILLS HAVE BEEN ELIMINATED.
i.) COOPERATE WITH THE IDEM-OER OR PROCEDURES AND REPORTS INVOLVED WITH THE EVENT.
CLEANUP PARAMETERS:
1. THE OWNER SHALL BE CONTINUALLY KEPT INFORMED, MAINTAIN LISTS OF QUALIFIED CONTRACTORS AND AVAILABLE VAC-TRUCKS, TANK PUMPERS AND OTHER EQUIPMENT READILY ACCESSIBLE FOR CLEAN UP OPERATIONS. IN ADDITION, A CONTINUALLY UPDATED LIST OF AVAILABLE ABSORBENT MATERIALS AND CLEAN-UP SUPPLIES SHOULD BE KEPT ON SITE.
2. ALL MAINTENANCE PERSONNEL WILL BE MADE AWARE OF TECHNIQUES FOR PREVENTION OF SPILLS. THEY WILL BE INFORMED OF THE REQUIREMENTS AND PROCEDURES OUTLINED IN THIS PLAN. THEY WILL BE KEPT ABRASST OF CURRENT DEVELOPMENTS OR NEW INFORMATION ON THE PREVENTION OF SPILLS AND /OR NECESSARY ALTERATIONS TO THIS PLAN.
3. WHEN SPILLS OCCUR WHICH COULD ENDANGER HUMAN LIFE AND THIS BECOMES PRIMARY CONCERN, THE DISCHARGE OF THE LIFE SAVING PROTECTION FUNCTION WILL BE CARRIED OUT BY THE LOCAL POLICE AND FIRE DEPARTMENTS.
4. ABSORBENT MATERIALS, WHICH ARE USED IN CLEANING UP SPILLED MATERIALS, WILL BE DISPOSED OF IN A MANNER SUBJECT TO THE APPROVAL OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
5. FLUSHING OF SPILLED MATERIAL WITH WATER WILL NOT BE PERMITTED UNLESS SO AUTHORIZED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
MONITORING AND MAINTENANCE GUIDELINES FOR POLLUTION PREVENTION MEASURES:
SILT FENCE MAINTENANCE REQUIREMENTS
1. INSPECT THE SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT.
2. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
3. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE.
4. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
5. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE AND STABILIZE IT.

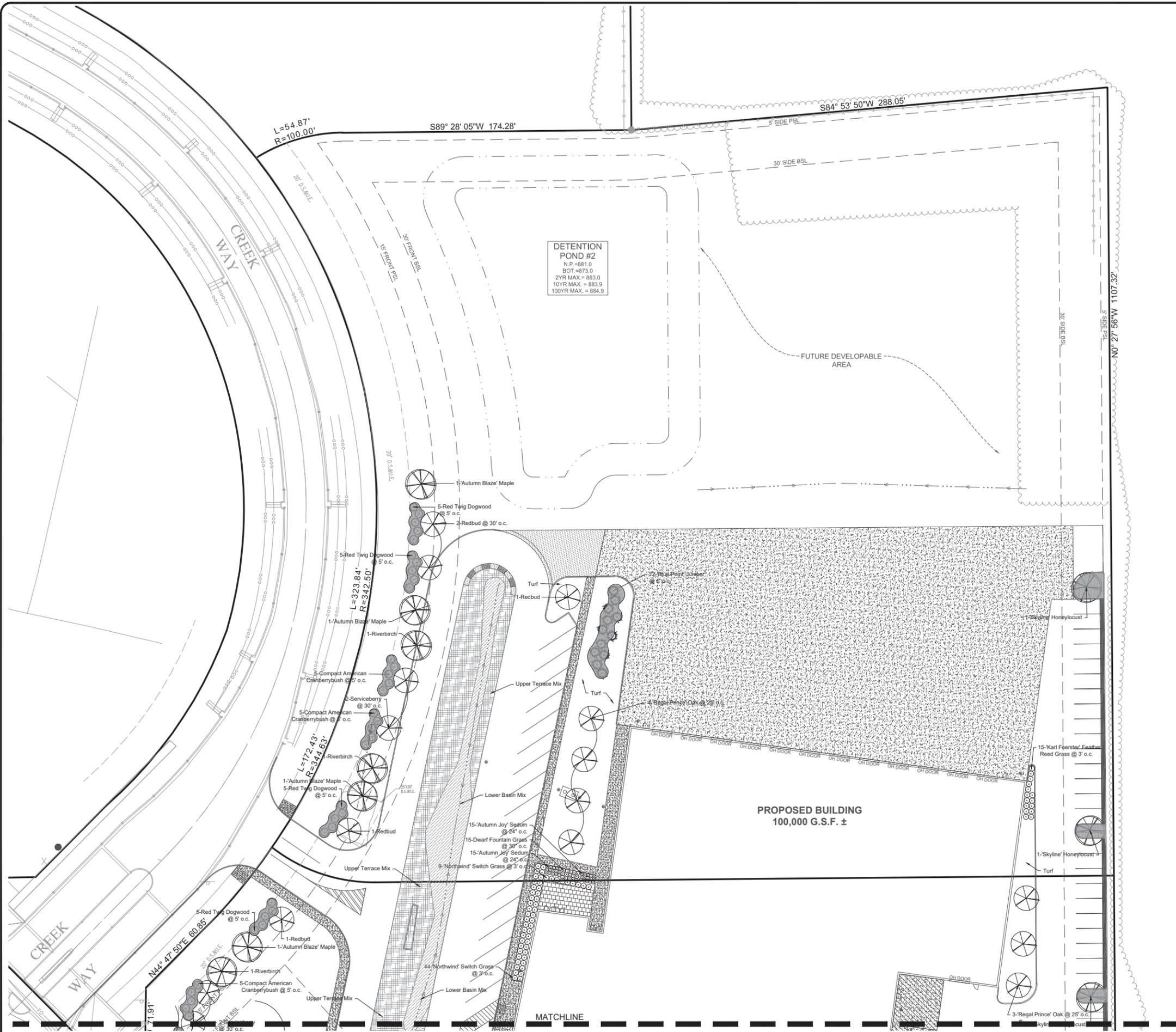
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1. THE OWNER SHALL BE CONTINUALLY KEPT INFORMED, MAINTAIN LISTS OF QUALIFIED CONTRACTORS AND AVAILABLE VAC-TRUCKS, TANK PUMPERS AND OTHER EQUIPMENT READILY ACCESSIBLE FOR CLEAN UP OPERATIONS. IN ADDITION, A CONTINUALLY UPDATED LIST OF AVAILABLE ABSORBENT MATERIALS AND CLEAN-UP SUPPLIES SHOULD BE KEPT ON SITE.
2. ALL MAINTENANCE PERSONNEL WILL BE MADE AWARE OF TECHNIQUES FOR PREVENTION OF SPILLS. THEY WILL BE INFORMED OF THE REQUIREMENTS AND PROCEDURES OUTLINED IN THIS PLAN. THEY WILL BE KEPT ABRASST OF CURRENT DEVELOPMENTS OR NEW INFORMATION ON THE PREVENTION OF SPILLS AND /OR NECESSARY ALTERATIONS TO THIS PLAN.
3. WHEN SPILLS OCCUR WHICH COULD ENDANGER HUMAN LIFE AND THIS BECOMES PRIMARY CONCERN, THE DISCHARGE OF THE LIFE SAVING PROTECTION FUNCTION WILL BE CARRIED OUT BY THE LOCAL POLICE AND FIRE DEPARTMENTS.
4. ABSORBENT MATERIALS, WHICH ARE USED IN CLEANING UP SPILLED MATERIALS, WILL BE DISPOSED OF IN A MANNER SUBJECT TO THE APPROVAL OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
5. FLUSHING OF SPILLED MATERIAL WITH WATER WILL NOT BE PERMITTED UNLESS SO AUTHORIZED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
MONITORING AND MAINTENANCE GUIDELINES FOR POLLUTION PREVENTION MEASURES:
SILT FENCE MAINTENANCE REQUIREMENTS
1. INSPECT THE SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT.
2. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
3. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE.
4. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
5. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE AND STABILIZE IT.

TEMPORARY GRAVEL CONSTRUCTION MAINTENANCE REQUIREMENTS
1. RESHAPE AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
2. TOPDRESS WITH CLEAN STONE AS NEEDED.
3. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO STREETS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN.
4. IMMEDIATELY REMOVE ROAD PAVEMENT IMMEDIATELY.
TEMPORARY BEEHIVE INLET SEDIMENT TRAP MAINTENANCE REQUIREMENTS
1. INSPECT TEMPORARY SEDIMENT TRAPS AFTER EACH STORM EVENT AND IMMEDIATELY REPAIR ANY EROSION AND PIPING HOLES.
2. REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN 6" OF CASTING
3. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, REMOVE THE STRUCTURE AND SEDIMENT, SMOOTH THE SITE TO BLEND WITH ADJOINING AREAS AND STABILIZE IT.
CURB INLET PROTECTION MAINTENANCE REQUIREMENTS
1. AFTER EACH STORM EVENT REMOVE THE SEDIMENT AND REPLACE THE GRAVEL, REPLACE THE GEOTEXTILE FABRIC IF USED.
2. PERIODICALLY REMOVE SEDIMENT AND TRACKED-ON SOIL FROM THE STREET, WITHOUT FLUSHING, TO REDUCE THE THE SEDIMENT LOAD ON THE INLET PROTECTION.
3. INSPECT CASTING COVER PERIODICALLY FOR DAMAGE AND REPAIR, KEEP GRATES FREE OF DEBRIS.
4. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE SEDIMENT DEPOSITS AND DISPOSE OF THEM PROPERLY.
EROSION CONTROL BLANKET MAINTENANCE REQUIREMENTS
1. DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER EACH STORM EVENT FOR ANY EROSION BELOW THE BLANKET.
2. IF ANY AREA(S) SHOW EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT, RE-SEED THE AREA AND RELAY AND STAPLE THE BLANKET.
3. AFTER VEGETATIVE ESTABLISHMENT CHECK THE TREATED AREA PERIODICALLY.
EROSION & SEDIMENT CONTROL SPECIFICATIONS FOR INDIVIDUAL BUILDING LOTS - THERE ARE NO INDIVIDUAL BUILDING LOTS ASSOCIATED WITH THIS PROJECT
SECTION C - STORMWATER POLLUTION PREVENTION PLAN - POST-CONSTRUCTION PHASE
C1 DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE: SILT AND SEDIMENT FROM EXPOSED SOILS, LEAVES, MULCH, VEHICULAR SOURCES SUCH AS LEAKING FUEL OR OIL, BRAKE FLUID, BRAKE DUST, GREASE, ANTIFREEZE, METALS, RUBBER FRAGMENTS, ROAD GRIT, SALTS AND SANDS, CONSTRUCTION TRASH AND DEBRIS, FERTILIZERS, CLEANING AGENTS, CHEMICALS, PAINT, ANIMAL WASTE, ELEVATED STORM RUNOFF TEMPERATURES, PESTICIDES AND PATHOGENS.
C2 SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION:
1. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE STORMWATER POLLUTION PREVENTION MEASURES MAINTENANCE REQUIREMENTS BEGINNING IMMEDIATELY AFTER INSTALLATION AND CONTINUING UNTIL VEGETATION HAS BEEN SUFFICIENTLY ESTABLISHED AND ALL CONSTRUCTION ACTIVITY IS COMPLETE.
2. REMOVE ALL SILT FENCES, ETC. ONLY AFTER SEEDING AND SUFFICIENT VEGETATIVE GROWTH HAS BEEN ESTABLISHED IN EACH AREA TO A POINT WHERE SEDIMENT/POLLUTANTS WILL NOT ENTER THE CREEK.
3. INSPECT AND MAINTENANCE OF ALL AREAS IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTED BY THE GOVERNING MS4 OFFICE. INSPECTION AND MAINTENANCE OF BMP'S SHALL FOLLOW TIME TABLES SET FORTH IN THE MAINTENANCE AND OPERATIONS MANUAL.
C3 DESCRIPTION OF PROPOSED POST CONSTRUCTION STORMWATER QUALITY MEASURES -
1. PERMANENT SEEDING AND LANDSCAPE PLANT MATERIAL.
2. ON GOING MAINTENANCE BY THE OWNER TO INSURE THAT SEDIMENT, TRASH AND POLLUTANTS DO NOT LEAVE THE SITE.
3. SEE BMP OPERATIONS AND MAINTENANCE MANUAL (O&M MANUAL) FOR DETAILS RELATED TO POST CONSTRUCTION STORMWATER QUALITY MEASURES.
C4 LOCATION, DIMENSIONS, SPECIFICATIONS, AND CONSTRUCTION DETAILS OF EACH STORMWATER QUALITY MEASURE - SEE STORMWATER POLLUTION PREVENTION PLAN SHEETS C501-C506 FOR LOCATIONS AND SHEET C507-C508 AND C504 FOR DETAILS AND SPECIFICATIONS.
DESCRIPTION OF MAINTENANCE GUIDELINES FOR POST CONSTRUCTION STORMWATER QUALITY MEASURE -
STORMWATER DETENTION BASIN & INFILTRATION TRENCH INSPECTION PROCEDURE
THE STORMWATER DETENTION BASINS HAVE BEEN DESIGNED TO MINIMIZE AND SIMPLIFY THE INSPECTION AND MAINTENANCE PROCESS. THE OPEN BASINS CAN BE INSPECTED AND MAINTAINED ENTIRELY FROM THE SURFACE THEREBY ELIMINATING THE NEED FOR CONFINED SPACE ENTRY. FURTHERMORE, THE ENTIRE SYSTEM SHALL BE INSPECTED AFTER MAJOR RAIN EVENTS OR ONCE PER 6 MONTHS. INSPECTION SHALL INCLUDE THE RIPRAP DISSIPATORS AT POINTS OF STORMWATER ENTERING THE BASIN, THE OUTLET CONTROL STRUCTURES FOR PROPER FUNCTION AND VERIFICATION THE CONTROL ORIFICES ARE NOT CLOGGED, EROSION ALONG THE BANKS, EXCESSIVE INVASIVE PLANT GROWTH AND MOWING PROCEDURES TO ENSURE THE BANKS AND BOTTOM OF DRY DETENTION BASIN GRASSES DO NOT EXCEED 6 INCHES.
PERVIOUS PAVEMENT INSPECTION PROCEDURE
VISUALLY INSPECT THE SURFACE OF THE PERVIOUS PAVEMENT FOR AREAS OF STANDING WATER, DEBRIS, SEDIMENT BUILDUP OR CLOGGED AREAS. A VACUUM TRUCK SHALL BE USED TO REMOVE SEDIMENT WITHIN THE PORES OF THE PAVEMENT.
CONSTRUCTION AND POST CONSTRUCTION
THE PURPOSE OF STAGING CONSTRUCTION DURING THE VARIOUS PHASES OF THE PROJECT IS TO LIMIT THE AMOUNT OF GROUND DISTURBED AT ANY GIVEN TIME AND TO PREVENT SEDIMENT FROM LEAVING THE SITE. FOR THIS REASON THE FOLLOWING SEQUENCING SHOULD BE FOLLOWED AS MUCH AS POSSIBLE.
CALL INDIANA UNDERGROUND PLANT PROTECTION SERVICE ("HOLEY MOLEY") AT 800-382-5544 TO CHECK THE LOCATION OF ANY UTILITIES TWO DAYS BEFORE WORK IS TO COMMENCE.
ESTABLISH ON-SITE LOCATION FOR OWNER/OPERATOR/CONTRACTOR PLACEMENT OF APPROVED PLANS AND RULE 5 NOI INSPECTION DOCUMENTATION.
CITY OF CRAWFORDSVILLE STORMWATER DEPARTMENT MUST BE NOTIFIED AT LEAST 48 HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN. THE CONTRACTOR SHALL CONTACT THE DEPARTMENT TO SET UP A PRE-CONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
1. INSTALL A TEMPORARY STONE ACCESS DRIVE OFF ROAD (SEE EROSION CONTROL PLAN, SHEET C501).
2. CONSTRUCT RULE 5 INFORMATION POSTING SITE, INSTALL TRASH DUMPSTER, AND PLACE PORT-O-LET.
3. INSTALL CONSTRUCTION AND ROAD GRIT, SALTS AND SANDS AS SHOWN ON THE PLANS.
4. PLACE TEMPORARY SEED IN ALL AREAS WHERE WORK WILL DISCONTINUE FOR 14 DAYS OR MORE.
5. IF SEEDING DOES NOT PRODUCE A MINIMUM OF 70 PERCENT VEGETATIVE COVER CONTRACTOR SHALL RE-SEED TO OBTAIN ADEQUATE VEGETATIVE COVER.
ADDITIONAL STORMWATER POLLUTION PREVENTION MEASURES
VEHICLE AND EQUIPMENT MAINTENANCE
DESCRIPTION AND PURPOSE
PREVENT OR REDUCE THE CONTAMINATION OF STORMWATER RESULTING FROM VEHICLE AND EQUIPMENT MAINTENANCE BY RUNNING A "DRY AND CLEAN SITE". THE BEST OPTION WOULD BE TO PERFORM MAINTENANCE ACTIVITIES AT AN OFFSITE FACILITY. IF THIS OPTION IS NOT AVAILABLE THEN WORK SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY, WHILE PROVIDING COVER FOR MATERIALS STORED OUTSIDE, CHECKING FOR LEAKS AND SPILLS, AND CONTAINING AND CLEANING UP SPILLS IMMEDIATELY.
LIMITATIONS
ONSITE VEHICLE AND EQUIPMENT MAINTENANCE SHOULD ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFFSITE FOR MAINTENANCE AND REPAIR. SENDING VEHICLES/EQUIPMENT OFFSITE SHOULD BE DONE IN CONJUNCTION WITH A STABILIZED CONSTRUCTION ENTRANCE/EXIT. MAINTENANCE OF A POTENTIALLY SIGNIFICANT SOURCE OF STORMWATER POLLUTION, ACTIVITIES THAT CAN CONTAMINATE STORMWATER INCLUDE ENGINE REPAIR AND SERVICE, CHANGING OR REPLACEMENT OF FLUIDS, AND OUTDOOR EQUIPMENT STORAGE AND PARKING (ENGINE FLUID LEAKS).
IMPLEMENTATION
IF MAINTENANCE MUST OCCUR ONSITE, USE DESIGNATED AREAS, LOCATED AWAY FROM DRAINAGE COURSES. DEDICATED MAINTENANCE AREAS SHOULD BE PROTECTED FROM STORMWATER RUNON AND RUNOFF, AND SHOULD BE LOCATED AT LEAST 50 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
DRIP PANS OR ABSORBENT PADS SHOULD BE USED DURING VEHICLE AND EQUIPMENT MAINTENANCE WORK THAT INVOLVES FLUIDS, UNLESS THE MAINTENANCE WORK IS PERFORMED OVER AN IMPERMEABLE SURFACE IN A DEDICATED MAINTENANCE AREA.
PLACE A STOCKPILE OF SPILL CLEANUP MATERIALS WHERE IT WILL BE READILY ACCESSIBLE.
ALL FUELING TRUCKS AND FUELING AREAS ARE REQUIRED TO HAVE SPILL KITS AND/OR USE OTHER SPLIT PROTECTION DEVICES.
USE ABSORBENT MATERIALS ON SMALL SPILLS. REMOVE THE ABSORBENT MATERIALS PROMPTLY AND DISPOSE OF PROPERLY.
INSPECT ONSITE VEHICLES AND EQUIPMENT DAILY AT STARTUP FOR LEAKS, AND REPAIR IMMEDIATELY.
KEEP VEHICLES AND EQUIPMENT CLEAN, DO NOT ALLOW EXCESSIVE BUILD-UP OF OIL AND GREASE.
SEGREGATE AND RECYCLE WASTES, SUCH AS GREASES, USED OIL OR OIL FILTERS, ANTIFREEZE, CLEANING SOLUTIONS, AUTOMOTIVE BATTERIES, HYDRAULIC AND TRANSMISSION FLUIDS. PROVIDE SECONDARY CONTAINMENT AND COVERS FOR THESE MATERIALS IF STORED ONSITE.
TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER MAINTENANCE AND SPILL CLEANUP PROCEDURES.
DRIP PANS OR PLASTIC SHEETING SHOULD BE PLACED UNDER ALL VEHICLES AND EQUIPMENT PLACED ON DOCKS, BARGES, OR OTHER STRUCTURES OVER WATER BODIES WHEN THE VEHICLE OR EQUIPMENT IS PLANNED TO BE IDLE FOR MORE THAN 1 HOUR.
PROPERLY DISPOSE OF USED OILS, FLUIDS, LUBRICANTS, AND SPILL CLEANUP MATERIALS.
PROPERLY DISPOSE OF OR RECYCLE USED BATTERIES.
DO NOT BURY USED TIRES.
REPAIR LEAKS OF FLUIDS AND OIL IMMEDIATELY.
LISTED BELOW IS FURTHER INFORMATION IF YOU MUST PERFORM VEHICLE OR EQUIPMENT MAINTENANCE ONSITE.
INSPECTION AND MAINTENANCE
INSPECT AND VERIFY THAT BMP'S ARE IN PLACE PRIOR TO THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDER WAY, INSPECT WEEKLY TO VERIFY CONTINUED BMP IMPLEMENTATION.
KEEP AMPLIE SUPPLIES OF SPILL CLEANUP MATERIALS ONSITE.
MAINTAIN WASTE FLUID CONTAINERS IN LEAK PROOF CONDITION.
VEHICLES AND EQUIPMENT SHOULD BE INSPECTED ON EACH DAY OF USE. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLE(S) OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.
INSPECT EQUIPMENT FOR DAMAGED HOSES AND LEAKY GASKETS ROUTINELY. REPAIR OR REPLACE AS NEEDED.
VEHICLE AND EQUIPMENT FUELING
DESCRIPTION AND PURPOSE
VEHICLE EQUIPMENT FUELING PROCEDURES AND PRACTICES ARE DESIGNED TO PREVENT FUEL SPILLS AND LEAKS, AND REDUCE OR ELIMINATE CONTAMINATION OF STORMWATER. THIS CAN BE ACCOMPLISHED BY USING OFFSITE FACILITIES, FUELING IN DESIGNATED AREAS ONLY, ENCLOSING OR COVERING STORED FUEL, IMPLEMENTING SPILL CONTROLS, AND TRAINING EMPLOYEES AND SUBCONTRACTORS IN PROPER FUELING PROCEDURES.
LIMITATIONS
ONSITE VEHICLE AND EQUIPMENT FUELING SHOULD ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFFSITE FOR FUELING. SENDING VEHICLES AND EQUIPMENT OFFSITE SHOULD BE DONE IN CONJUNCTION WITH A STABILIZED CONSTRUCTION ENTRANCE/EXIT.

IMPLEMENTATION
USE OFFSITE FUELING STATIONS AS MUCH AS POSSIBLE. THESE BUSINESSES ARE BETTER EQUIPPED TO HANDLE FUEL AND SPILLS PROPERLY. PERFORMING THIS WORK OFFSITE CAN ALSO BE ECONOMICALLY BY ELIMINATING THE NEED FOR A SEPARATE FUELING AREA AT A SITE.
DISCOURAGE "TOPPING-OFF" OF FUEL TANKS.
ABSORBENT SPILL CLEANUP MATERIALS AND SPILL KITS SHOULD BE AVAILABLE IN FUELING AREAS AND ON FUELING TRUCKS, AND SHOULD BE DISPOSED OF PROPERLY AFTER USE.
DRIP PANS OR ABSORBENT POOLS SHOULD BE USED DURING VEHICLE AND EQUIPMENT FUELING, UNLESS THE FUELING IS PERFORMED OVER AN IMPERMEABLE SURFACE IN A DEDICATED FUELING AREA.
USE ABSORBENT MATERIALS ON SMALL SPILLS. DO NOT HOSE DOWN OR BURY THE SPILL. REMOVE THE ABSORBENT MATERIALS PROMPTLY AND DISPOSE OF PROPERLY.
AVOID MOBILE FUELING OF MOBILE CONSTRUCTION EQUIPMENT AROUND THE SITE; RATHER, TRANSPORT THE EQUIPMENT TO DESIGNATED FUELING AREAS.
TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER FUELING AND CLEANUP PROCEDURES.
DEDICATED FUELING AREAS SHOULD BE PROTECTED FROM STORMWATER RUNON AND RUNOFF, AND SHOULD BE LOCATED AT LEAST 50 FT AWAY FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES. FUELING MUST BE PERFORMED ON LEVEL-GRADE AREAS.
PROTECT FUELING AREAS WITH BERMS AND DIKES TO PREVENT RUNON, RUNOFF, AND TO CONTAIN SPILLS.
NOZZLES USED IN VEHICLE AND EQUIPMENT FUELING SHOULD BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO CONTROL DRIPS. FUELING OPERATIONS SHOULD NOT BE LEFT UNATTENDED.
FEDERAL, STATE, AND LOCAL REQUIREMENTS SHOULD BE OBSERVED FOR ANY STATIONARY ABOVE GROUND STORAGE TANKS.
INSPECTION AND MAINTENANCE
VEHICLES AND EQUIPMENT SHOULD BE INSPECTED EACH DAY OF USE FOR LEAKS. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLES OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.
KEEP AMPLIE SUPPLIES OF SPILL CLEANUP MATERIALS ONSITE.
IMMEDIATELY CLEAN UP SPILLS AND PROPERLY DISPOSE OF CONTAMINATED SOIL AND CLEANUP MATERIALS.
SOLID WASTE MANAGEMENT
DESCRIPTION AND PURPOSE
SOLID WASTE MANAGEMENT PROCEDURES AND PRACTICES ARE DESIGNED TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM SOLID OR CONSTRUCTION WASTE BY PROVIDING DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS, ARRANGING FOR REGULAR DISPOSAL, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.
SUITABLE APPLICATIONS
THIS BMP IS SUITABLE FOR CONSTRUCTION SITES WHERE THE FOLLOWING WASTES ARE GENERATED OR STORED:
• SOLID WASTE GENERATED FROM TREES AND SHRUBS REMOVED DURING LAND CLEARING, DEMOLITION OF EXISTING STRUCTURES (RUBBLE), AND BUILDING CONSTRUCTION.
• PACKING MATERIALS INCLUDING WOOD, PAPER, AND PLASTIC.
• SCRAP OR SURPLUS BUILDING MATERIALS INCLUDING SCRAP METALS, RUBBER, PLASTIC, GLASS PIECES AND MASONRY PRODUCTS.
• DOMESTIC WASTE INCLUDING FOOD CONTAINERS SUCH AS BEVERAGE CANS, COFFEE CUPS, PAPER BAGS, PLASTIC WRAPPERS, AND CIGARETTES.
• CONSTRUCTION WASTES INCLUDING BRICK, MORTAR, TIMBER, STEEL AND METAL SCRAPS, PIPE AND ELECTRICAL CUTTINGS, NON-HAZARDOUS EQUIPMENT PORTS, STYROFOAM AND OTHER MATERIALS SEND TRANSPORT AND PACKAGE CONSTRUCTION MATERIALS.
IMPLEMENTATION
THE FOLLOWING STEPS WILL HELP KEEP A CLEAN SITE AND REDUCE STORMWATER POLLUTION:
• SELECT DESIGNATED WASTE COLLECTION AREAS ONSITE.
• PROTECT TRAFFIC FROM THE SURFACE OF CONTAINERS THAT YOU WILL ACCEPT ONLY WATERTIGHT DUMPSTERS FOR ONSITE USE.
• INSPECT DUMPSTERS FOR LEAKS AND REPAIR ANY DUMPSTER THAT IS NOT WATERTIGHT.
• PROVIDE AN ADEQUATE NUMBER OF CONTAINERS WITH LIDS OR COVERS THAT CAN BE PLACED OVER THE CONTAINER TO KEEP RAIN OUT OR TO PREVENT LOSS OF WASTES WHEN IT IS WINDY.
• PLAN FOR ADDITIONAL CONTAINERS AND MORE FREQUENT PICKUP DURING THE DEMOLITION PHASE OF CONSTRUCTION.
• COLLECT SITE TRASH DAILY, ESPECIALLY DURING RAINY AND WINDY CONDITIONS.
• REMOVE THIS SOLID WASTE PROMPTLY SINCE EROSION AND SEDIMENT CONTROL DEVICES TEND TO COLLECT LITTER.
• MAKE SURE THAT TOXIC LIQUID WASTES (USED OILS, SOLVENTS, AND PAINTS) AND CHEMICALS (ACIDS, PESTICIDES, ADDITIVES, CURING COMPOUNDS) ARE NOT DISPOSED OF IN DUMPSTERS DESIGNATED FOR CONSTRUCTION DEBRIS.
• DO NOT HOSE OUT DUMPSTERS ON THE CONSTRUCTION SITE. LEAVE DUMPSTER CLEANING TO THE TRASH HAULING CONTRACTOR.
• ARRANGE FOR REGULAR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW.
• CLEAN UP IMMEDIATELY IF A CONTAINER DOES SPILL.
• MAKE SURE THAT CONSTRUCTION WASTE IS COLLECTED, REMOVED, AND DISPOSED OF ONLY AT AUTHORIZED DISPOSAL AREAS.
• INSPECT THE STORM MANHOLE WITH SNUOT. REMOVE ANY FLOATING DEBRIS ON A REGULAR BASIS AND HAVE SUMPS PROFESSIONALLY CLEANED ONCE A YEAR. **CAUTION SHOULD BE NOTED - ALL SUMPS ARE DEEP AND POTENTIALLY DANGEROUS. EXTREME CARE AND SAFETY MEASURES ALONG WITH OSHA GUIDELINES SHOULD BE FOLLOWED.
COLLECTION, STORAGE, AND DISPOSAL
LITTERING ON THE PROJECT SITE SHOULD BE PROHIBITED.
TO PREVENT CLOGGING OF THE STORM DRAINAGE SYSTEM, LITTER AND DEBRIS REMOVAL FROM DRAINAGE GRATES, TRASH RAKES, AND DITCH LINES SHOULD BE A PRIORITY.
TRASH RECEPTACLES SHOULD BE PROVIDED IN THE CONTRACTORS YARD, FIELD TRAILER AREAS, AND AT LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHOULD BE COLLECTED AND PLACED IN WATERTIGHT DUMPSTERS AT LEAST WEEKLY, REGARDLESS OF WHETHER THE LITTER WAS GENERATED BY THE CONTRACTOR, THE PUBLIC, OR OTHERS. COLLECTED LITTER AND DEBRIS SHOULD NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORMWATER DRAINAGE SYSTEMS, OR WATERCOURSES.
DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHOULD BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT.
FULL DUMPSTERS SHOULD BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHOULD BE DISPOSED OF BY THE TRASH HAULING CONTRACTOR.
CONSTRUCTION DEBRIS AND WASTE SHOULD BE REMOVED FROM THE SITE BIWEEKLY OR MORE FREQUENTLY AS NEEDED. CONSTRUCTION MATERIAL VISIBLE TO THE PUBLIC SHOULD BE STORED OR STOCKED IN AN ORDERLY MANNER.
STORMWATER RUNON SHOULD BE PREVENTED FROM CONTACTING STORED SOLID WASTE THROUGH THE USE OF BERMS, DIKES, OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SITE SURFACES.
SOLID WASTE STORAGE AREAS SHOULD BE LOCATED AT LEAST 50 FT FROM DRAINAGE FACILITIES AND WATER COURSES AND SHOULD NOT BE LOCATED IN AREAS PRONE TO FLOODING OR PONDING.

INSPECTION AND VERIFICATION THAT ACTIVITY-BASED BMP'S ARE IN PLACE PRIOR TO THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDER WAY, INSPECT WEEKLY TO VERIFY CONTINUED BMP IMPLEMENTATION.
INSPECT CONSTRUCTION WASTE AREA REGULARLY.
ARRANGE FOR REGULAR WASTE COLLECTION.
EVALUATION FOR CONSTRUCTION PROJECTS
Assigned individual shall perform a written evaluation of the project site.
a. Be the end of the next business day following each rainfall that exceeds 0.5"
b. A minimum of one (1) time per year.
Project Name:
Name of Trained Individual: Date of Inspection:
Is this Evaluation following a rainfall? Yes No If yes - date the rain stopped: inches:
NO PROBLEM OR CONCERN YES NO IWA
1. Is the site information posted at the entrance?
2. Are all necessary permits obtained and general provisions implemented?
3. Is a construction website established? Is it effective? Is it enough?
4. Public and press events are done?
5. Any appropriate notices established where stormwater leaves the site?
6. Silt fence is rechecked into the array?
7. Silt fence is applied? If not, are there any special specifications? Fabric is not in line?
8. Temporary erosion control structures are installed according to the plan? The pipe or rock spillway is functioning?
9. The silt fence, straw bales, and/or straw are installed and maintained properly?
10. Drainage areas and/or waterways are installed to plan and protected?
11. Erosion control structures have adequate capacity and are not needed to be changed?
12. Inlet protection is installed on all horizontal inlets (not just fabric under gates)?
13. Inlet protection is installed on water ditches and flow under?
14. The fence, straw bales, and/or straw are installed and maintained properly?
15. The fence, straw, bales, and/or straw are checked and maintained properly?
16. Catch basin inlet protection is installed where required?
17. Sediment has been removed from the practice?
18. Stormwater outlets are adequately stabilized?
19. Temporary stabilization of disturbed ground has been addressed?
20. Disturbed areas that will be dormant for 90 days are planned to be protected?
21. All protected dormant areas meet a minimum 75% coverage?
22. Revegetation has been sufficient water and/or mulch?
23. Permanent stabilizations of disturbed ground is progressing through the project?
24. Final grading and stabilization is progressing on completed areas?
25. Hard soil areas are properly prepared for seeding?
26. Hard soil areas are properly seeded where erosion regulation will occur?
27. Water control structures have a protected outlet and discharge water is clear?
28. A designated washout is established for concrete trucks?
29. A sump area is established for wash water?
30. Can tanks and other waste materials are safely stored and protected?
31. Smaller construction sites not requiring file a separate IWA are complying with the overall plan?
32.
33.
34.
ALL PROBLEMS OR CONCERNS NEED TO BE ADDRESSED WITH A CORRECTIVE ACTION
Identify the problem by number and/or provide address of explanation as needed.
Developer/Owner Representative contacted - name Date
Contractor Representative contacted - name Date
Report Submitted by Date

TEMPORARY GRAVEL CONSTRUCTION MAINTENANCE REQUIREMENTS
1. RESHAPE AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
2. TOPDRESS WITH CLEAN STONE AS NEEDED.
3. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO STREETS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN.
4. IMMEDIATELY REMOVE ROAD PAVEMENT IMMEDIATELY.
TEMPORARY BEEHIVE INLET SEDIMENT TRAP MAINTENANCE REQUIREMENTS
1. INSPECT TEMPORARY SEDIMENT TRAPS AFTER EACH STORM EVENT AND IMMEDIATELY REPAIR ANY EROSION AND PIPING HOLES.
2. REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN 6" OF CASTING
3. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, REMOVE THE STRUCTURE AND SEDIMENT, SMOOTH THE SITE TO BLEND WITH ADJOINING AREAS AND STABILIZE IT.
CURB INLET PROTECTION MAINTENANCE REQUIREMENTS
1. AFTER EACH STORM EVENT REMOVE THE SEDIMENT AND REPLACE THE GRAVEL, REPLACE THE GEOTEXTILE FABRIC IF USED.
2. PERIODICALLY REMOVE SEDIMENT AND TRACKED-ON SOIL FROM THE STREET, WITHOUT FLUSHING, TO REDUCE THE THE SEDIMENT LOAD ON THE INLET PROTECTION.
3. INSPECT CASTING COVER PERIODICALLY FOR DAMAGE AND REPAIR, KEEP GRATES FREE OF DEBRIS.
4. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE SEDIMENT DEPOSITS AND DISPOSE OF THEM PROPERLY.
EROSION CONTROL BLANKET MAINTENANCE REQUIREMENTS
1. DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER EACH STORM EVENT FOR ANY EROSION BELOW THE BLANKET.
2. IF ANY AREA(S) SHOW EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT, RE-SEED THE AREA AND RELAY AND STAPLE THE BLANKET.
3. AFTER VEGETATIVE ESTABLISHMENT CHECK THE TREATED AREA PERIODICALLY.
EROSION & SEDIMENT CONTROL SPECIFICATIONS FOR INDIVIDUAL BUILDING LOTS - THERE ARE NO INDIVIDUAL BUILDING LOTS ASSOCIATED WITH THIS PROJECT
SECTION C - STORMWATER POLLUTION PREVENTION PLAN - POST-CONSTRUCTION PHASE
C1 DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE: SILT AND SEDIMENT FROM EXPOSED SOILS, LEAVES, MULCH, VEHICULAR SOURCES SUCH AS LEAKING FUEL OR OIL, BRAKE FLUID, BRAKE DUST, GREASE, ANTIFREEZE, METALS, RUBBER FRAGMENTS, ROAD GRIT, SALTS AND SANDS, CONSTRUCTION TRASH AND DEBRIS, FERTILIZERS, CLEANING AGENTS, CHEMICALS, PAINT, ANIMAL WASTE, ELEVATED STORM RUNOFF TEMPERATURES, PESTICIDES AND PATHOGENS.
C2 SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION:
1. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE STORMWATER POLLUTION PREVENTION MEASURES MAINTENANCE REQUIREMENTS BEGINNING IMMEDIATELY AFTER INSTALLATION AND CONTINUING UNTIL VEGETATION HAS BEEN SUFFICIENTLY ESTABLISHED AND ALL CONSTRUCTION ACTIVITY IS COMPLETE.
2. REMOVE ALL SILT FENCES, ETC. ONLY AFTER SEEDING AND SUFFICIENT VEGETATIVE GROWTH HAS BEEN ESTABLISHED IN EACH AREA TO A POINT WHERE SEDIMENT/POLLUTANTS WILL NOT ENTER THE CREEK.
3. INSPECT AND MAINTENANCE OF ALL AREAS IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTED BY THE GOVERNING MS4 OFFICE. INSPECTION AND MAINTENANCE OF BMP'S SHALL FOLLOW TIME TABLES SET FORTH IN THE MAINTENANCE AND OPERATIONS MANUAL.
C3 DESCRIPTION OF PROPOSED POST CONSTRUCTION STORMWATER QUALITY MEASURES -
1. PERMANENT SEEDING AND LANDSCAPE PLANT MATERIAL.
2. ON GOING MAINTENANCE BY THE OWNER TO INSURE THAT SEDIMENT, TRASH AND POLLUTANTS DO NOT LEAVE THE SITE.
3. SEE BMP OPERATIONS AND MAINTENANCE MANUAL (O&M MANUAL) FOR DETAILS RELATED TO POST CONSTRUCTION STORMWATER QUAL



0 30' 60'
SCALE: 1" = 30'

SYMBOL LEGEND

- EXISTING TREE
- PROPOSED CANOPY TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- MULCH REQUIRED
- UPPER TERRACE SEED MIX
- LOWER BASIN SEED MIX

DETENTION POND #2
N.P. = 881.0
BOT. = 873.0
2YR MAX. = 883.0
10YR MAX. = 883.9
100YR MAX. = 884.9

PROPOSED BUILDING
100,000 G.S.F. ±

Fritz Engineering Services, LLC
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| REVISIONS AND ISSUES | DATE | BY |
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PROJECT TEAM:
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PROJECT:
RLR RACING HEADQUARTERS ZIONSVILLE
PROJECT LOCATION:
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BOONE COUNTY
SECTION, TOWNSHIP, RANGE:
SW 1/4, S1, T17N, R2E

CLIENT:
RENIER CONSTRUCTION
2164 CITYGATE DRIVE
COLUMBUS, OHIO 43219

PLAN DATE:
9/15/2020
DESIGN: AF CHECK: AF DRAWN: RG
PROJECT NO.:
2008003
SHEET NAME:
LANDSCAPE PLAN
SHEET NO.:
L102



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